
November 7, 2023

6:00 PM

Council Chambers

CALL TO ORDER

CITIZEN COMMENTS

This is an opportunity for citizens to address the commission on any matter over which they have authority, whether it is or is not posted on the agenda. The commission is not permitted to discuss or take action on any presentations concerning an item not listed on the agenda. Citizens may speak up to three (3) minutes or the time limit determined by the mayor or presiding officer.

PUBLIC HEARING, ACTION & BRIEFING ITEMS:

- A. Approve minutes dated August 3, 2023.
- B. Approve minutes dated October 3, 2023.
- C. Public hearing regarding an Ordinance modifying the Comprehensive Zoning Plan to allow artificial turf.
- D. Discuss and take action **an Ordinance modifying the Comprehensive Zoning Plan to allow artificial turf.** *(The Commission held a public hearing on this item in October and requested staff due further research and draft an ordinance for consideration.)*
- E. Public hearing on the site plan for 6660 Hawks Creek Ave, Westworth Village, TX.
- F. Discuss and take action **on the site plan for 6660 Hawks Creek Ave, Westworth Village, TX.** *(If the site plan is approved or approved with modifications, the property owner would like to seek approval to re-plat the property. However, if the site plan is denied, the property owner has requested the plat application be withdrawn without consideration or action.)*
- G. Discuss and take action **on the plat application for 6660 Hawks Creek Ave, Westworth Village, TX.** *(If the site plan in Item C is denied, the property owner has requested this plat application be withdrawn without consideration or action.)*
- H. Public hearing on the Specific Use Permit and site plan for 6405 Westworth Blvd, Westworth Village, TX.
- I. Discuss and take action **on the Specific Use Permit and site plan for 6405 Westworth Blvd, Westworth Village, TX.**

ADJOURN

The Commission reserves the right to retire into executive session concerning any of the items listed on this Agenda, whenever it is considered necessary and legally justified under the Open Meeting Act.

This facility is wheelchair accessible & handicapped parking spaces are available. Requests for accommodations for the hearing impaired must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (817) 710-2526 for assistance.

A quorum of the council or other board and committees may be present at this meeting; however, no council, board or committee discussions or actions will be taken. I certify that the above notice was posted on the bulletin board at the Westworth Village City Hall, 311 Burton Hill Road, Westworth Village, Texas on this, the 3rd day of November 2023, at 5pm, in accordance with Chapter 551 of the Texas Government Code.



Brandy G. Barrett, TRMC
City Administrator/City Secretary



Tuesday, August 3, 2023

6:00 PM

Council Chambers

ATTENDEES:	Chairperson	Richard Cervenka
	Member	Darla Thornton
	Member	Margaret Worthington
	Member	Nyles Nielsen
	Member	Dani Briones
	Member	Sarah Jones
	Member	Anita Gray
	City Administrator/ City Secretary	Brandy Barrett
	Lieutenant	Glen Lipperdt
	Deputy City Secretary	Elisa Greubel
ABSENT:	Mayor	L. Kelly Jones
	Chief of Police	Kevin Reaves

CALLED TO ORDER at 6:00 pm by Chairperson Richard Cervenka.

CITIZEN COMMENTS

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- Halden Griffith, 200 Sky Acres – Thanked the commission for their service.

PUBLIC HEARINGS, ACTION, & BRIEFING ITEMS

- A.** Approval of minutes from Planning and Zoning Meeting dated April 6, 2023.

MOTION to approve the April 6, 2023, meeting minutes.

MADE BY: Nyles Nielsen. **SECOND BY:** Anita Gray.

Motion passed by a vote of 6 Ayes and 1 Nay (Thornton).

- B. The Chair opened Public Hearing #1 at 6:09 PM.**

Public Hearing to receive citizen comments and input on the proposed amendments to Chapter 14 - Zoning of the Westworth Village Code of Ordinances providing for a definition of Smoke/Tobacco/CBD stores, modifying the use tables in the Commercial and Light Industrial Zones, establishing restrictions on said stores, providing for revocation of special use permits, enforcement, and penalties. (The Comprehensive Zoning Use Table does not currently allow this business type by right and a potential business owner has requested it be added.)

- The following spoke against approval of the item:
 - Walt Feldman, 107 Kay Ln – read into the record
 - Michael Bachand, 5905 Westworth Falls Way - read into the record
 - Greg Curry, 1722 Ruth St, Suite 1500
 - Coby Serbantez, 600 Harrold St
 - Tyler Wall, 6530 Hawks Creek, Ste 103

The Chair closed Public Hearing #1 at 6:18 PM.

- C. Discuss and take action on to amend Chapter 14 - Zoning of the Westworth Village Code of Ordinances providing for a definition of Smoke/Tobacco/CBD stores, modifying the use tables in the Commercial and Light Industrial Zones, establishing restrictions on said stores, providing for revocation of special use permits, enforcement, and penalties. *(The Comprehensive Zoning Use Table does not currently allow this business type by right and a potential business owner has requested it be added.)*

MOTION to amend Chapter 14 - Zoning of the Westworth Village Code of Ordinances providing for a definition of Smoke/Tobacco/CBD stores, modifying the use tables in the Commercial and Light Industrial Zones, establishing restrictions on said stores, providing for revocation of special use permits, enforcement, and penalties to staff recommendation option 2.

- **MADE BY:** Richard Cervenka. **SECOND BY:** Dani Briones.
- **Motion passed** by a vote of 6 Ayes, 0 Nays, and 1 Abstention (Nielsen).
- **MOTION to amend prior motion to increase the distance from places children gather from 500 feet to 1000 feet.**
- **MADE BY:** Anita Gray. **SECOND BY:** Sarah Jones.
- **Motion passed** by a vote of 5 Ayes, 0 Nays, and 2 Abstentions (Nielsen & Thornton).

D. The Chair opened Public Hearing #2 at 7:02 PM.

Public Hearing to receive citizen comments and input on the request for a Specific Use Permit, allowing a Vape/CBD shop in the Shoppes of Hawks Creek 6530 Hawks Creek Ave, Suite 102, Westworth Village, TX. *(This public hearing will only be held if the Commission approves a change to the Zoning Ordinance in item “C” that allows such use via a specific use permit. If the Commission denies the use or approves it with no permit or restrictions, then this public hearing will not be held.)*

- The following spoke again approval of the item:
 - Walt Feldman, 107 Kay Ln – read into the record
 - Michael Bachand, 5905 Westworth Falls Way - read into the record
 - Greg Curry, 1722 Ruth St, Suite 1500
 - Coby Serbantez, 600 Harrold St
 - Tyler Wall, 6530 Hawks Creek, Ste 103

The Chair closed Public Hearing #2 at 7:10 PM.

- E. Discuss and take action on the request for a Specific Use Permit, allowing a Vape/CBD shop in the Shoppes of Hawks Creek 6530 Hawks Creek Ave, Suite 102, Westworth Village, TX. *(Action on this item will only be taken if the Commission approves a change to the Zoning Ordinance in item “C” that allows such use via a specific use permit. If the Commission denies the use or approves it with no permit or restrictions, then no action will be taken on this item.)*

- **No action was taken on this item as the council must first act on the commission’s recommendations of item “C” before it can be considered.**

- F. Next meeting will be scheduled as needed.

ADJOURNED at 7:11 PM by Richard Cervenka, Chair.

MINUTES APPROVED on this the 3rd day of October 2023.

Richard Cervenka, Chair

SIGNATURE ATTESTED BY:

Brandy G. Barrett, TRMC
City Administrator/ City Secretary

October 3, 2023

6:00 PM

Council Chambers

ATTENDEES:	Chairperson	Richard Cervenka
	Member	Darla Thornton
	Member	Margaret Worthington
	Member	Nyles Nielsen
	Member	Dani Briones
	Member	Sarah Jones
	Member	Anita Gray
	Mayor	L. Kelly Jones
	City Administrator/ City Secretary	Brandy Barrett
	Chief of Police	Kevin Reaves
	City Attorney	Brenda McDonald
	Deputy City Secretary	Elisa Greubel

ABSENT:

CALLED TO ORDER at 6:00 pm by Chairperson Richard Cervenka.

CITIZEN COMMENTS

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- There were no citizen comments.

EXECUTIVE SESSION:

Chairman Cervenka convened in closed executive session at 6:01 PM to deliberate the following items:

A. Consultation with attorney pursuant to Texas Government Code Section 551.071

- Regarding the legal representation of individual commission members in pending or contemplated litigation.

Chairman Cervenka re-convened in open session at 6:42 PM. No action was taken.

PUBLIC HEARINGS, ACTION, & BRIEFING ITEMS

A. Approval of minutes from Planning and Zoning Meeting dated August 3, 2023.

- Staff was directed to listen to the audio from the meeting to ensure accuracy.
- No action was taken on this item.

B. The Chair opened Public Hearing at 6:47 PM.

Public Hearing to receive citizen comments and on the request to modify the Comprehensive Zoning Plan to allow artificial turf. (*Per the Comprehensive Zoning Plan only living plant materials mulch, artificial turf is not allowed.*)

- The following spoke in favor of allowing artificial turf:
 - Cade Lamirand, 5712 Popken – read into the record
 - Erica Haley, 5728 Sunset - read into the record

- Matt Dobbertien, 5720 Popken - read into the record
- Sayre Koger, 5718 Popken
- Ron Short, 5721 Popken
- Brad Turner, 5744 Popken
- Kevin Caffey, 5716 Popken
- Teddy Berdan, 5722 Popken
- Harry Mills, 5725 Popken
- The following spoke on the topic:
 - Judy Roper, 221 Magnolia Ln

The Chair closed Public Hearing at 6:59 PM.

- C. Discuss and take action on the request to modify the Comprehensive Zoning Plan to allow artificial turf.
- After discussion, staff was directed to gather and present additional information.
 - No action was taken on this item.

ADJOURNED at 7:27 PM by Richard Cervenka, Chair.

MINUTES APPROVED on this the 7th day of November 2023.

Richard Cervenka, Chair

SIGNATURE ATTESTED BY:

Brandy G. Barrett, TRMC
City Administrator/ City Secretary

October 3, 2023

Council Chambers

PUBLIC HEARING, BRIEFINGS AND ACTION ITEMS ON THE AGENDA:

ITEM C & D: Modifying the Comprehensive Zone plan to allow artificial turf

Since my last report on this item, I have:

1. Confirmed that the Texas A&M AgriLife Extension Office in Tarrant County, will not go on record in opposition, “as they provide education for people to make informed decisions”. However, they again verbally explained the negative environmental impacts both short term and long term and encouraged us to limit its use as much as possible.
2. Confirmed with the city engineers that it would increase the stormwater runoff in the city, and should the commission or council decide to allow artificial turf, they suggested establishing very strict regulations depending on the desires for it’s use. The city engineers also stated that this may be an issue with our MS4 stormwater permit renewal, as it will also increase the chemical runoff. They anticipate TCEQ will be adding this to their MS4 permitting requirements. If it is allowed, we may have to take mitigating actions (that have not yet been determined) as we renew our MS4 permit next year.
3. TCEQ has not responded to our inquiries about their position on the matter and the impacts to MS4 permitting standards and mitigation actions. TCEQ is already regulating PFAS, and they are monitoring them through the superfund site due to the base’s use of fire-retardant foam.

While researching other city ordinances and actions, I found this recent article on the subject:

<https://calmatters.org/environment/2023/10/california-synthetic-turf-pfas/#:~:text=One%20of%20the%20bills%20Newsom,Marino%20in%20Los%20Angeles%20County.>

STAFF RECOMMENDATION:

I would encourage the commission and council to consider the impact to the increased storm water drainage and if you choose to allow artificial turf, it should be considered as part of the impervious surface calculations allowance. Prior commission and councils have established our current ordinance that requires 100% living plant materials, with allowances for mulch and rock as part of the landscape.

Staff agrees with previous determinations and remains concerned about the long-term negative impacts:

- increased storm water drainage
- negative impacts to the storm water system
- heat impact
- long-term impacts on the subterranean life/microorganisms that are critical for our environment
- increase in landfill requirements, as it must be replaced at end of life (every 10 years on average)

The pros and cons on this topic are vast and divisive, however the proposed ordinance provides opportunities for it to be used, while restricting its application to mitigate some of the immediate concerns regarding increased stormwater drainage and water quality.

PUBLIC HEARINGS:

If you are unable to attend the public hearing, you can submit comments for the P&Z to consider, in the following ways:

- In writing – dropped off to the Permits Department by noon on the day of the meeting.
- Via email – to bbarrett@cityofwestworth.com – must be received by noon on the day of the meeting.
- Verbally in-person at the meeting

Brandy Barrett



AN ORDINANCE OF THE CITY OF WESTWORTH VILLAGE AMENDING CHAPTER 14 OF THE CITY OF WESTWORTH VILLAGE CODE OF ORDINANCE, ADDING THE ARTIFICIAL TURF DEFINITION, AND ITS APPLICATIONS AND MAINTENANCE IN LANDSCAPING; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY CLAUSE; REPEALING AND REPLACING CONFLICTING PROVISIONS OF ORDINANCES HERewith; PROVIDING FOR PUBLICATION AND AN EFFECTIVE DATE.

WHEREAS, the City Council has received the recommendations of the Planning and Zoning Commission concerning the matters herein dealt with, which recommendations were made after the holding of a public hearing before said Commission on such matters; and

WHEREAS, notice has been published of the time and place of a public hearing held before the City Council concerning the changes herein made, which public hearing has been duly held; and,

WHEREAS, the City Council has determined that the amendment to the Comprehensive Zoning Ordinance herein made is in the best interest of the health, safety and general welfare of the citizens of the City of Westworth Village;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WESTWORTH VILLAGE, TEXAS, that:

Section 1. That Article 1, In General, Section 14.1.5, Definitions of the Code of Ordinances of the City of Westworth Village is hereby modified adding the following definition:

“Artificial turf/lawn: any variety of synthetic, carpetlike materials made to resemble turf/grass and used as a playing surface or in place of living plant materials.”

Section 2. That Article 4, Development Standards, Division 2, Landscape Requirements, Sections 14.4.8 through 14.4.18 of the Code of Ordinances of the City of Westworth Village is hereby replaced in its entirety and shall read as follows:

Sec. 14.4.8 Purpose

Landscaping is accepted as adding value to property and is in the interests of the general welfare of the City. The provision of landscaped areas also serves to increase the amount of a property that is devoted to pervious surface area which, in turn, helps to reduce the amount of impervious surface area, stormwater runoff, and consequent nonpoint pollution in local waterways. Therefore, landscaping is hereafter required of new development and redevelopment of existing properties.

Sec. 14.4.9 Scope and Enforcement

The standards and criteria contained within this Division are deemed to be minimum standards and shall apply to all new, or altered ~~landscaping, exceeding thirty percent (30%) of the original floor area, and all new~~ construction occurring within the City. Additionally, any use requiring a Specific Use Permit or a PD zoning designation must comply with these landscape standards unless special landscaping standards are otherwise provided for in the ordinance establishing the SUP or PD district. The provisions of this Section shall be administered and enforced by the City Administrator or his/her designee. The landscape standards in this Section apply to nonresidential and multifamily developments, including uses such as schools and churches within a residential zoning district, and ~~minimal front yard landscaping standards apply~~ to single-family and duplex residential developments and individual lot/tracts.

If at any time after the issuance of a certificate of occupancy, the approved landscaping is found to be not in conformance with the standards and criteria of this Section, the City Administrator or his/her designee shall issue notice to the owner, citing the violation and describing what action is required to comply with this Section. The owner, tenant or agent shall have thirty (30) days from date of said notice to establish/restore the landscaping, as required. If the landscaping is not established/restored within the allotted time, then such person shall be in violation of this Chapter.

Sec. 14.4.10 Permits

No permits shall be issued for building, paving, grading or construction until a detailed landscape plan is submitted and approved by the City Administrator or his/her designee, along with the site plan and engineering/construction plans. A landscape plan shall be required as part of the site plan submission, as required in [Article 2, Division 6](#) of this Chapter. The landscape plan may be shown on the site plan (provided the site plan remains clear and legible) or may be drawn on a separate sheet. Prior to the issuance of a certificate of occupancy for any building or structure, all screening and landscaping shall be in place in accordance with the landscape plan.

In any case in which a certificate of occupancy is sought at a season of the year in which the City Administrator or his/her designee determines that it would be impractical to plant trees, shrubs or ground cover, or to successfully establish turf areas, a temporary certificate of occupancy may be issued provided a letter of agreement from the property owner is submitted that states when the installation shall occur. All landscaping required by the landscaping plan shall be installed within six (6) months of the date of the issuance of the certificate of occupancy.

Sec. 14.4.11 Landscape Plan

Prior to the issuance of a building, paving, grading or construction permit for any use, a landscape plan as part of the site plan shall be submitted to the Planning and Zoning Commission. The Commission, shall review such plans and shall provide City Council with a recommendation and City Council shall take final action on such plans. If the plans are in accordance with the criteria of these zoning regulations an action of approval shall be taken. If the plans are not in conformance, they shall be disapproved and shall be accompanied by a written statement setting forth the changes necessary for compliance. Landscaping plans shall be prepared by a person knowledgeable in plant material usage and landscape design (e.g., landscape architect, landscape contractor, landscape designer, etc.) and shall contain the following minimum information:

- A. Minimum scale of one inch (1") equals fifty feet (50'); show scale in both written and graphic form.
- B. Location, size and species of all trees to be preserved (do not use "tree stamps" unless they indicate true size and location of trees).
- C. Location of all plant and landscaping material to be used, including plants, paving, benches, screens, fountains, statues, earthen berms, ponds (to include depth of water), topography of site, or other landscape features.
- D. Species and common names of all plant materials to be used.
- E. Size of all plant material to be used (container size, planted height, etc.).
- F. Spacing of plant material where appropriate.
- G. Layout and description of irrigation, sprinkler, backflow prevention systems, or water systems including location of water sources in accordance with TCEQ Chapter 344 rules.
- G.H. Plans must include the square footage and description of all impervious surface area on the lot, including artificial turf/lawn materials, pools, sidewalks, driveways, patios, sheds, etc.
- H.I. Description of maintenance provisions.
- I.J. Name and address of the person(s) responsible for the preparation of the landscape plan.
- J.K. North arrow/symbol, and a small map showing where the property is located.
- K.L. Date of the landscape plan.

Sec. 14.4.12 General Standards

The following criteria and standards shall apply to landscape materials and installation:

- A. All non-paved surfaces shall be completely covered with living plant material. Exceptions are granted for the following:
 - 1. Landscaping materials such as wood chips and gravel may be used under trees, shrubs and other plants, but shall not comprise a significant portion more than 25% of the total pervious surface area.
 - 2. Artificial turf/lawn materials shall be considered impervious surface, used to accentuate the living landscape, and is permitted as follows:
 - i. Requires a landscaping permit with a detailed plan showing all impervious surfaces on the lot

- with accurate measurements of each and all living plant surfaces.
- ii. Permit application must include manufacturer specifications demonstrating compliance with the Artificial Turf Standards (see table).
- iii. Permit application must include manufacturer recommended maintenance/cleaning procedures and schedules and all removal and recycling procedures.
- iv. Must be installed by a professional artificial turf installer, registered with the city, and recommended by the manufacturer.
- v. No person shall modify existing artificial turf installations or install new artificial turf without first completing the landscape permit application and subsequently receiving an artificial turf permit.

Artificial Turf Standards Table:

<u>Turf Component</u>	<u>Allowed</u>	<u>Not Allowed</u>
<u>Blade & Backing</u>	<u>Lead-free polyethylene, polypropylene, vegetable-based or combination</u>	<u>Nylon or Plastic</u>
<u>Infill</u>	<u>Clean washed sand, silica sand, cork or zeolite</u>	<u>Crumb Rubber</u>
<u>Warranty</u>	<u>Minimum 10-year warranty</u>	
<u>Tear Grab Strength</u>	<u>Minimum 200 pounds</u>	
<u>Turf Bind Strength</u>	<u>Minimum 8 pounds</u>	
<u>Flammability</u>	<u>Pass the pill burn test for flammability</u>	
<u>Recyclability</u>	<u>Must be recyclable at the end of life</u>	
<u>Appearance</u>	<u>Allowed</u>	<u>Not Allowed</u>
<u>Color</u>	<u>Include a minimum of two shades of green blade colors and contain a tan thatch color. Color must mimic natural turf.</u>	<u>Colors that do not mimic natural turf.</u>
<u>Texture</u>	<u>Three-dimension ridge, spine cross-section and uneven tips</u>	
<u>Length</u>	<u>Blade between 1.5" to 2.5"</u>	
<u>Thickness</u>	<u>Tuft spacing of no more than 3/8" between rows</u>	
<u>Installation</u>	<u>Allowed</u>	<u>Not Allowed</u>
<u>Seams</u>	<u>Sewn Seams</u>	<u>Glued seams</u>
<u>Edges</u>	<u>Edges not visible</u>	
<u>Base</u>	<u>Compacted aggregate; sloped to direct drainage to the street or alley</u>	
<u>Anchoring</u>	<u>Permanently anchored</u>	
<u>Location</u>	<u>In residential yards, not visible from a public right of way.</u>	<u>Under a downspout without being directly connected to a French drain</u>
<u>Maintenance</u>	<u>Allowed</u>	<u>Not Allowed</u>
<u>Grooming & Wear</u>	<u>Maintained in clean and attractive conditions in compliance with all manufacturers grooming and maintenance recommendations.</u>	<u>Weeds, holes, discolorations, fading, stains, tears, seam separations, uplifted surfaces, heat degradations, depressions, odors, or excessive wear.</u>
<u>Damage</u>	<u>Damaged and worn areas must be repaired or removed and replaced in a manner that results in consistent appearance with existing artificial turf.</u>	

- B. Plant materials shall conform to the standards of the approved plant list for the City of Westworth Village (see [Section 14.4.17](#) for the approved plant list) and the current edition of the “American Standard for Nursery Stock” (as amended), published by the American Association of Nurserymen. Grass seed, sod and other material shall be clean and reasonably free of weeds and noxious pests and insects.
- C. Trees shall have an average crown spread of greater than fifteen feet (15') at maturity. Trees having a lesser average mature crown of fifteen feet (15') may be substituted by grouping the same so as to create the equivalent of fifteen feet (15') of crown spread. Large trees shall be a minimum of three inches (3") in caliper (measured four feet (4') above the ground) and seven feet (7') in height at time of planting. Small ornamental trees shall be a minimum of one and one-half inch (1.5") in caliper and five feet (5') in height at time of planting. All new trees shall be provided with a permeable surface under the dripline a minimum of five feet (5') by five feet (5') diameter.
- D. Shrubs not of a dwarf variety shall be a minimum of two feet (2') in height when measured immediately after planting. Hedges, where installed for screening purposes, shall be planted and maintained so as to form a continuous seventy-five percent (75%) visual screen which will be at least six feet (6') high within three (3) years after time of planting, except for parking lot/tract/headlight screens, which shall form a continuous, solid visual screen three feet high within two years after planting.
- E. Vines not intended as ground cover shall be a minimum of two feet (2') in height immediately after planting and may be used in conjunction with fences, screens, or walls to meet landscape screening requirements as set forth.
- F. Grass areas shall be sodded, plugged, sprigged, or hydro-mulched, except that solid sod shall be used in swales, earthen berms or other areas subject to erosion.
- G. Ground covers used in lieu of grass in whole and in part shall be planted in such a manner as to present a finished appearance and reasonably completed coverage within one (1) year of planting.
- H. All landscaped areas shall be equipped with an automatic, underground irrigation system with freeze and moisture sensors to prevent watering at inappropriate times. Landscaped areas having less than ten (10) square feet in area may be irrigated by some other inconspicuous method. If appropriate xeriscape planting techniques are utilized, the City Council may waive the requirement for an underground irrigation system at the time of site plan approval. However, the landscaping shall be
- I. required to be maintained in a healthy, living and growing condition, and any irrigation devices shall not be visible from public streets or walkways.
- J. Earthen berms shall have side slopes not to exceed 33.3 percent (three feet (3') of horizontal distance for each one foot (1') of vertical height). All berms shall contain necessary drainage provisions as may be required by the City's Engineer.
- K. Clear Cutting Prohibited. Clear cutting of trees is prohibited within the City of Westworth Village. Cutting of trees and land clearing may be done for development purposes, with a tree removal permit in accordance with an approved final plat and/or engineering site plan. Cutting of trees and land clearing for other-than-development purposes shall be considered by the City Council. The existing natural landscape character of the city shall be preserved to the extent reasonable and feasible. In an area along the street frontage containing a stand of recommended trees, the developer shall use best good faith effort to preserve such trees.

Sec. 14.4.13 Minimum Landscaping Requirements for Nonresidential and Multifamily Developments

- A. For all nonresidential and multifamily developments, including schools, churches, day care facilities, and other similar uses in a residential district, at least twenty percent (20%) of the lot/tract area shall be pervious, permanently landscaped area. For corner lot/tracts, a six hundred (600) square foot landscaped area shall be provided at the street intersection, which can be counted toward the twenty percent (20%) requirement.
- B. A minimum twenty-five-foot (25') landscaped street buffer adjacent to the right-of-way of any arterial is required for the first two hundred and fifty feet (250') from the beginning (i.e., tangent) point of the street corner radius. Beyond the first 250 feet, the landscaped street buffer may either continue at the 25-foot width (developer's option), or it shall transition down to a required width of fifteen feet (15') along the remainder of the arterial frontage (minimum length of transition shall be one hundred feet (100')). A minimum fifteen-foot (15') landscaped street buffer shall be required along any street frontage for any other nonresidential or multifamily development (including schools, churches, day care facilities, and other similar uses in a residential district). Corner lot/tracts fronting two (2) arterials shall provide the appropriate required landscape buffer on both street frontages. One (1) large shade tree, four (4) small ornamental trees and four (4) shrubs (five (5) gallon minimum) shall be required per fifty (50) linear feet (or portion thereof) of street buffer frontage. Trees should be grouped or clustered to facilitate site design and to provide an aesthetically pleasing, natural looking planting arrangement. The landscaped street buffer area may be included in the required landscape area percentage.
- C. Landscape areas within parking lot/tracts should generally be at least one parking space in size, with no landscape

area less than fifty (50) square feet in area. Landscape areas shall be no less than five feet (5') wide, shall equal a total of at least sixteen (16) square feet per parking space, and shall be dispersed throughout the parking area (i.e., not confined to the perimeter). There shall be a landscaped area with at least one (1) large shade tree within sixty feet (60') of every parking space. There shall be a minimum of one (1) large shade tree planted within the parking area for every ten (10) parking spaces for parking lot/tracts having more than twenty (20) spaces. Within parking lot/tracts, landscape areas should be located to define parking areas and to assist in clarifying appropriate circulation patterns. Landscape islands shall be located at the terminus of all parking rows and within bays of parking such that bays do not generally exceed fifteen (15) parking spaces in length, and all islands shall contain at least one (1) tree (large or ornamental). All landscape areas shall be protected by a monolithic concrete curb or wheel stops, and shall remain free of trash, litter, and car bumper overhangs.

- D. Each lot/tract shall provide a minimum five foot (5') wide landscaped buffer strip around the sides and rear perimeters of the lot/tract, provided that each side or rear lot/tract line does not abut residentially zoned property, which requires a screening wall, per Article 4, Division 4 of this Chapter. Within the five foot (5') perimeter buffer, shall be provided a four foot (4') tall screen comprised of hardy, evergreen shrubs, decorative walls with shrubs, or similar landscaping. If a side or rear lot/tract line abuts a residentially zoned property, and for nonresidential and institutional uses in residential zoning districts, then that portion(s) of the perimeter buffer strip shall observe the required screening per Article 4, Division 4 of this Chapter, shall be a minimum of ten feet (10') in width, and shall be required to have one (1) large shade tree, in lieu of the four foot (4') high screen described above for every thirty linear feet (30') for overstory screening/buffering for the adjacent residences.
- E. Only shrubs, ground covers and small ornamental trees shall be used under existing or proposed overhead utility lines.
- F. Vehicular driveways from the public right-of-way and sidewalks, in accordance with City regulations, shall be permitted through all required landscaping.

Sec. 14.4.14 Minimum Landscaping Requirements for Single-Family and Two-Family Residential Developments

- A. For all single-family and two-family developments, each residential lot/tract shall be required to have either two (2) canopy shade trees (3" minimum caliper) or one (1) canopy shade tree (3" minimum caliper) and two (2) ornamental trees (2" minimum caliper). All single-family residential lots of less than 7,200 square feet shall have either one (1) canopy shade tree (3" minimum caliper) or two (2) ornamental trees (2" minimum caliper).
- B. The shade trees shall be a minimum of three inch (3") caliper measured forty-eight inches (48") above the ground. If the tree is located on a slope, measurement shall be from the highest side of the slope. The shade trees shall be selected from the current approved tree list contained in [Section 14.4.17](#).
- C. Minimum height required. Shade trees: seven feet (7').

Sec. 14.4.15 Sight Distance and Visibility

- A. Rigid compliance with these landscaping requirements shall not be such as to cause visibility obstructions and/or blind corners at intersections (see Section 14.4.35 for visibility requirements at street intersections and corners).
- B. Landscaping, except required grass and low ground cover, shall not be located closer than three feet (3') from the edge of any vehicular pavement in order to avoid visibility problems when plant materials mature.
- C. In the event other visibility obstructions are apparent in the proposed landscape plan, as determined by the City Administrator or his/her designee, the requirements set forth herein may be slightly reduced, if necessary, to remove the conflict.

Sec. 14.4.16 Maintenance

- A. The owner, tenant and/or their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include, but not be limited to, mowing, edging, pruning, fertilizing, watering, weeding, and other such activities common to the maintenance of landscaping. Artificial turf/lawn areas shall be kept in like-new condition, in compliance with manufactures recommendations (see Artificial Turf Standards table). Landscaped areas shall be kept free of trash, litter, weeds, and other such material or plants not a part of the landscaping. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size, within ninety (90) days. Trees with a trunk diameter in excess of six inches (6") measured four foot (4') above the ground may be replaced with ones of similar variety having a trunk diameter of no less than three inches (3") measured four foot (4') above the ground on a caliper-inch for caliper-inch basis (e.g., for a 6" tree, two 3" replacement trees shall be required). A

time extension may be granted by the City Administrator or his/her designee if substantial evidence is presented to indicate abnormal circumstances beyond the control of the owner or his/her agent.

- B. It shall be the duty of any person or persons owning or occupying real property bordering on any street to prune trees next to the street in such manner that they will not obstruct or shade the streetlights, obstruct the passage of pedestrians on sidewalks, obstruct vision of traffic signs, or obstruct the view from any street or alley intersection (see visibility requirements, Section 14.4.35). The minimum clearance of any portion of a tree overhanging public street right-of-way shall be fourteen feet (14'), and overhanging a public sidewalk shall be eight feet (8').
- C. Failure to maintain any landscape area in compliance with this Section is considered a violation of this Section and may be subject to penalties of Section 14.5.3.

Sec. 14.4.17 Approved Plant List

Table 14.4-2 Approved Plant List	
Common Name	Scientific Name
Canopy Trees	
Bald Cypress	Taxodium distichum
Texas Red Oak	Quercus texana
Bur Oak	Quercus macrocarpa
Live Oak	Quercus virginiana (Escarpment)
Red Oak	Quercus shumardi
Lacey Oak	Quercus glaucoides
Chinquapin Oak	Quercus muhlenbergii
Escarpment Live Oak	Quercus fusiformis
Post Oak	Quercus stellata
Cedar Elm	Ulmus crassifolia
Lace Bark Elm	Ulmus parvifolia
Chinese Pistache	Pistacia chinensis
Texas Ash	Fraxinus texensis
Pecan (native)	Carya illinoensis
Southern Magnolia	Magnolia grandiflora
Black Walnut	Juglans nigra
Eastern Red Cedar	Juniperus virginiana
Bigtooth Maple	Acer grandidatum
Caddo Maple	Acer saccharum
Western Soapberry	Sapindus drummondii
Osage Orange	Maclura pomifera (thornless and fruitless)
Ornamental Trees	
Yaupon Holly	Ilex vomitoria
Possumhaw Holly	Ilex decidua

Crape Myrtle	Lagerstroemia indica
Redbud	Cercis canadensis
Eve's Necklace	Sophora affinis
Texas Mountain Laurel	Sophora secundiflora
Prairie Crabapple	Pyrus ioensis
Mexican Plum	Prunus mexicana
Wax Myrtle	Myrica cerifera
Hawthorne	Crataegus phaenopyrum
Hawthorne	Crataegus crus-galli
Hawthorne	Crataegus reverchonii
Chaste Tree	Vitex agnus-castus
Mexican Buckeye	Ungnadia speciosa
Rusty Blackhaw Viburnum	Viburnum rufidulum
Smoketree	Cotinus obovatus
Smoketree	Cotinus caggyria
Desert Willow	Chilopsis linearis
Goldenball Leadtree	Leucaena rietusa
Texas Buckeye	Aesculus glabra var. arguta
False Indigo	Amorpha fruticosa var. angustipolic
Texas Persimmon	Diospyros texana
Carolina Buckthorn	Rhamnus caroliniana
Prairie Flame-leaf Sumac	Rhus lanceolata
Shrubs	
Cenizo	Leucophyllum frutescens
Red Yucca	Hesperaloe parviflora
Lantana	Lantana horrida
Turk's Cap	Malvaviscus drummondii
Pavonia	Pavonia lasiopetala
Prickly Pear	Opuntia phaeacantha
Cherry Sage	Salvia greggii
Rough Leaf Dogwood	Cornus drummondii
American Beautyberry	Callicarpa americana
Bird of Paradise	Caesalpinia gilliesii
Coralberry	Symphoricarpos obiculatus
Elaeagnus	Elaeagnus macrophylla
Holly, Dwarf yaupon	Ilex vomitoria

Holly, Dazzler	Ilex cornuta 'Dazzler'
Holly, Nellie R. Stevens	Ilex x 'Nellie R. Stevens'
Hypericum, Upright	Hypericum patulum
Mahonia, Leatherleaf	Mahonia bealeii
Nandina, Compact	Nandina domestica compacta
Nandina, Gulfstream	N. d. 'Gulfstream'
Nandina, Standard	N. domestica
Photinia, Chinese	Photinia serrulata
Privet, Southern River	Ligustrum vulgare
Privet, Variegated	Ligustrum luicidum 'variegata'
Spiraea, Anthony Waterer	Spiraea x bumalde 'goldflame'
Sumac, Smooth	Rhus glabra
Wax Myrtle, Dwarf	Myrica pusilla

Sec. 14.4.18 Non-desirable Plant Materials

The following plant materials are non-desirable. Due to their detrimental impact on foundations, sidewalks and other impervious areas, their negative impact on the built environment, and/or their intolerance to natural conditions, these plant materials shall not be used. If these materials are existing, they do not have to be removed from the site. They may not, however, be counted towards meeting any landscaping required by this article.

Table 14.4-3 Non-Desirable Plant Materials

American Elm	Mimosa
Arizona Ash	Mulberry
Bois d'Arc	Siberian Elm
Cottonwood	Silver Maple
Fruitless Mulberry	Sycamore
Hackberry	Weeping Willow
Lombardy Poplar	

Section 3: CONFLICT OF ORDINANCES

This Ordinance shall be cumulative of all ordinances of the City of Westworth Village, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinances in which the conflicting provisions of such ordinances are hereby repealed.

Section 4: REPEAL

All ordinances or parts of ordinances, orders, resolutions, rules, regulations, policies or provisions of the City of Westworth Village in force when the provision of this Ordinance becomes effective which are inconsistent or in conflict with the terms and provisions contained in this Ordinance are hereby repealed only to the extent of such conflict.

Section 5: SAVINGS CLAUSE

All rights and remedies of the City of Westworth Village are expressly saved as to any and all violations of the provisions of any ordinances affecting health and safety which have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance, but may be prosecuted until final disposition by the courts.

Section 6: EFFECTIVE DATE

This Ordinance shall take effect and be in full force and effect from and after the date of its passage and publication as provided by law.

AND IT IS SO ORDERED, PASSED AND APPROVED on this 14th day of November 2023.

L. Kelly Jones, Mayor

ATTEST:

Brandy G. Barrett, TRMC
City Administrator/City Secretary

APPROVED AS TO FORM:

Brenda McDonald, City Attorney



PUBLIC HEARING, BRIEFINGS AND ACTION ITEMS ON THE AGENDA:

ITEM E, F & G – Site plan and replat of 6660 Hawks Creek Ave

The property owner has requested the Commission review the site plan and if approved consider the replat application. If the site plan is denied, the property owner does not wish to proceed with the replat.

The developer would like to build a “Communities In Schools Tarrant County”. Link to the company showing the services they provide can be found here: <https://www.communitiesinschools.org/> From their most recent audit:

“Communities In Schools, Inc. (CIS) was incorporated in Georgia on April 28, 1977 and commenced operations in June 1977. CIS is a not-for-profit corporation, the purpose of which is to surround students with a community of support, empowering them to stay in school and achieve in life. CIS works through four primary areas to achieve its mission:

- Public Awareness and Communications – Building awareness of America’s dropout problem and positioning CIS as a solution to this problem.*
- Student Supports – Working with CIS state offices and local affiliates to build capacity within the CIS network as well as evaluating and disseminating evidence-based program practices.*
- Advocacy and Thought Leadership – Educating legislators, public officials, and the general public on a non-partisan basis on the types of and benefits of public policies conducive to improving public education, by means of research, publications, lectures and legislative involvement. Establish CIS as a thought leader in integrated student supports including keeping abreast of trends about the sectors and educating partners in the education field through convening and printed materials.*
- External Services – Working with school districts to provide a variety of services including implementing the CIS model, provide training opportunities on integrated student supports and providing turn around school services as well as providing organizational development consulting to new affiliates. It is a 501-C3 organization that will not pay taxes unless a PILOT program is implemented.”*

STAFF RECOMMENDATION:

Office is a permitted use in the commercial district. Staff recommends conditional approval pending confirmation of any additional recommended changes by the city engineers.

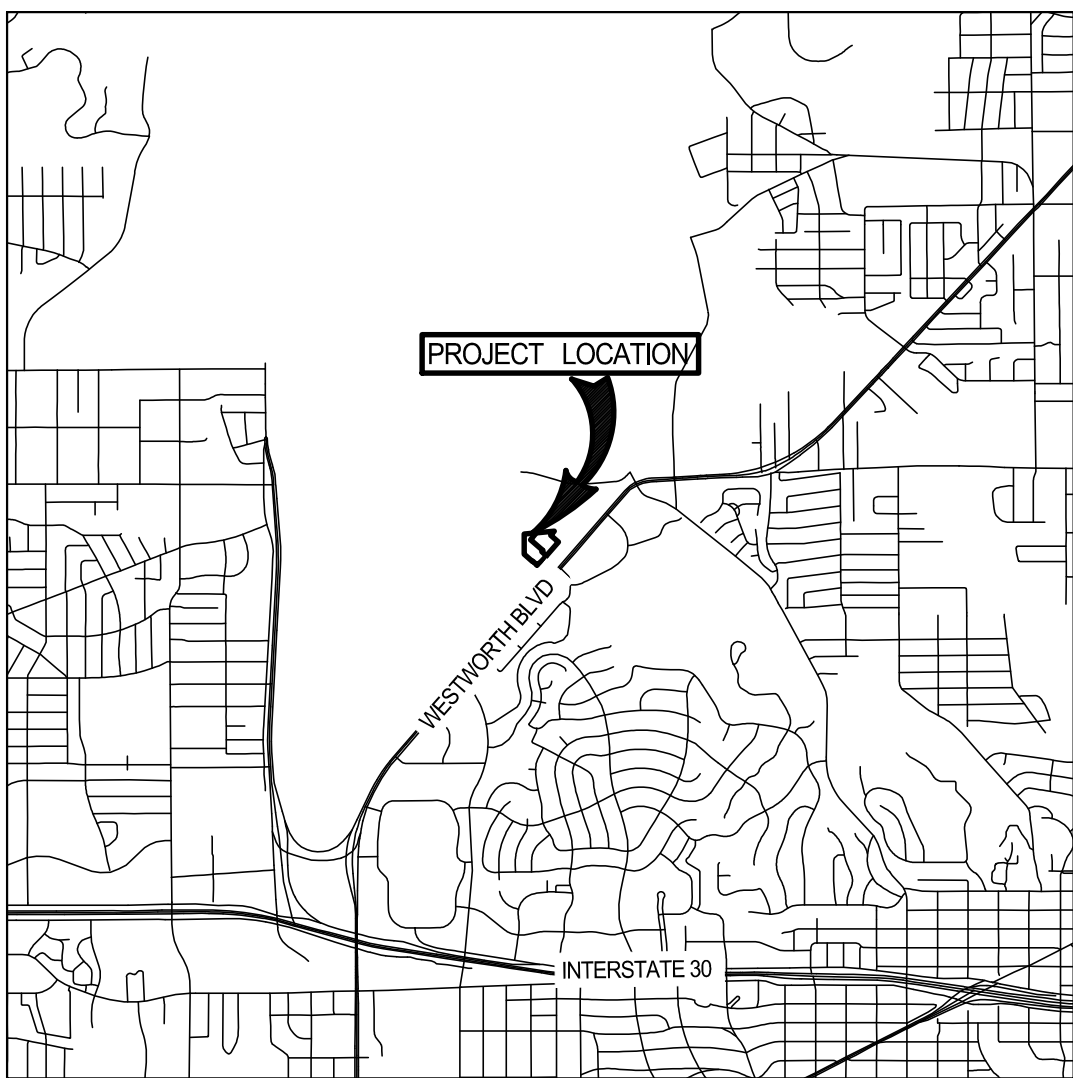
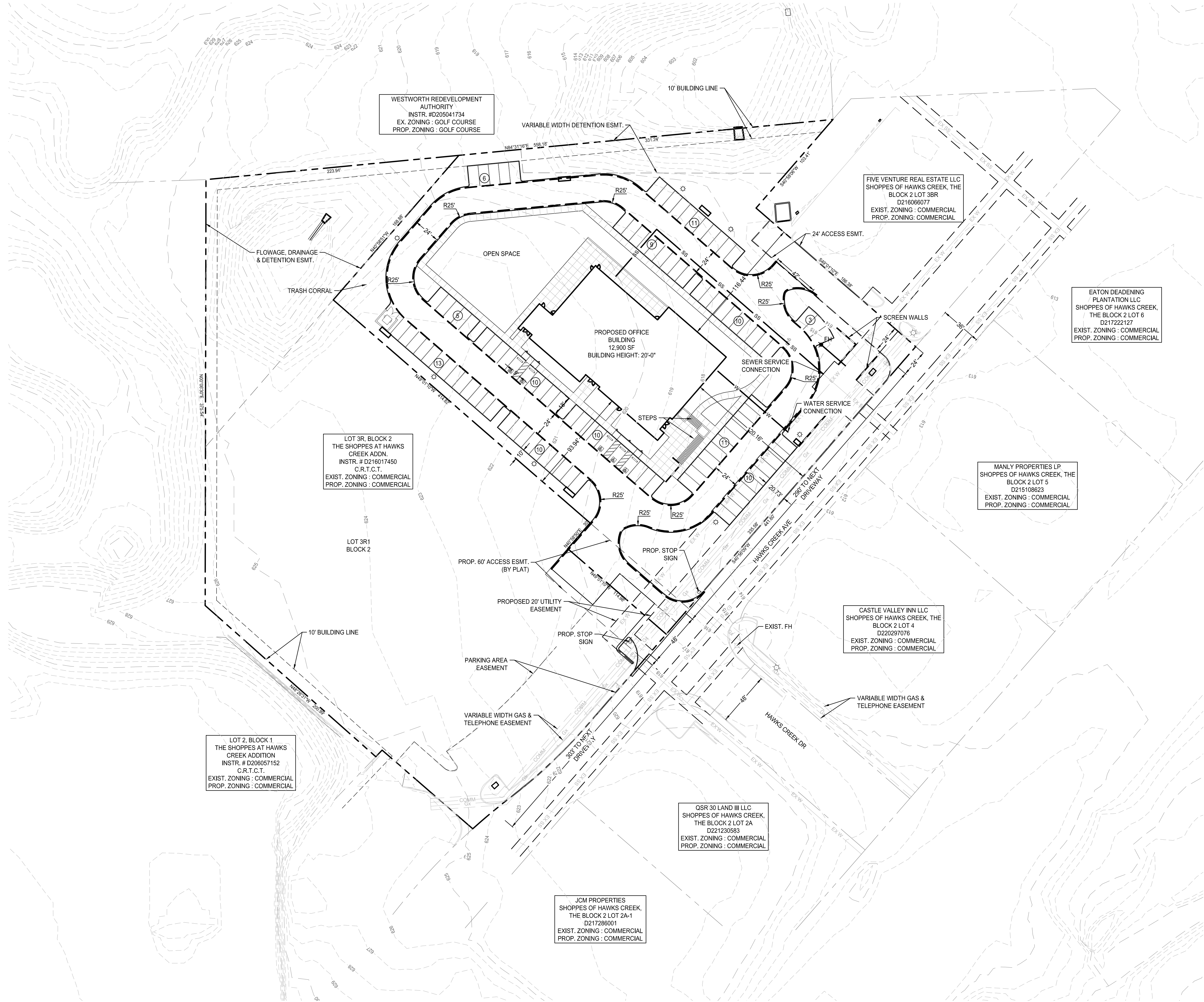
PUBLIC HEARINGS:

If you are unable to attend the public hearing, you can submit comments for the P&Z to consider, in the following ways:

- In writing – dropped off to the Permits Department by noon on the day of the meeting.
- Via email – to bbarrett@cityofwestworth.com – must be received by noon on the day of the meeting.
- Verbally in-person at the meeting

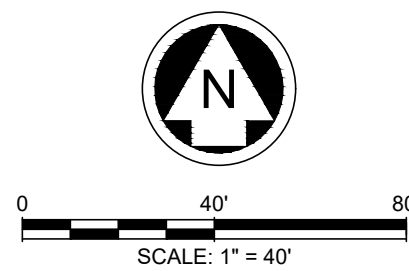
Brandy Barrett

Drawing: C:\Users\jcs3011\OneDrive\Documents\Westworth_Village\GIS_CAD\GIS_Site\Plan\CE23001-C-SITE
Last Saved: 11/02/2024 4:22 PM
Plot Date/Time: 11/02/2024 4:22 PM



LOCATION MAP

SCALE : N.T.S.



LEGEND

- PROPOSED DRAINAGE STRUCTURE
- PROPOSED LIGHTING

PARKING STALLS
TOTAL 108
ACCESSIBLE 5

OWNER
REEDER DEVELOPMENT GROUP
6600 HAWKS CREEK AVENUE, SUITE 200
WESTWORTH VILLAGE, TX 76114
817-439-2022

DEVELOPER
COMMUNITIES IN SCHOOLS OF GREATER TARRANT COUNTY
5601 BRIDGE STREET, SUITE 501
FORT WORTH, TX 76112
817-446-5454

ARCHITECT
VLK ARCHITECTS
13208 HEMPHILL STREET, SUITE 400
FORT WORTH, TX 76104
817-833-1600

ENGINEER/SURVEYOR
PELTON LAND SOLUTIONS
500 WEST 7TH STREET, SUITE 1300
FORT WORTH, TX 76102
817-953-2777

CITY OF WESTWORTH VILLAGE

COMMUNITIES IN SCHOOLS
SITE PLAN

WESTWORTH VILLAGE, TARRANT COUNTY, TEXAS



a Westwood company

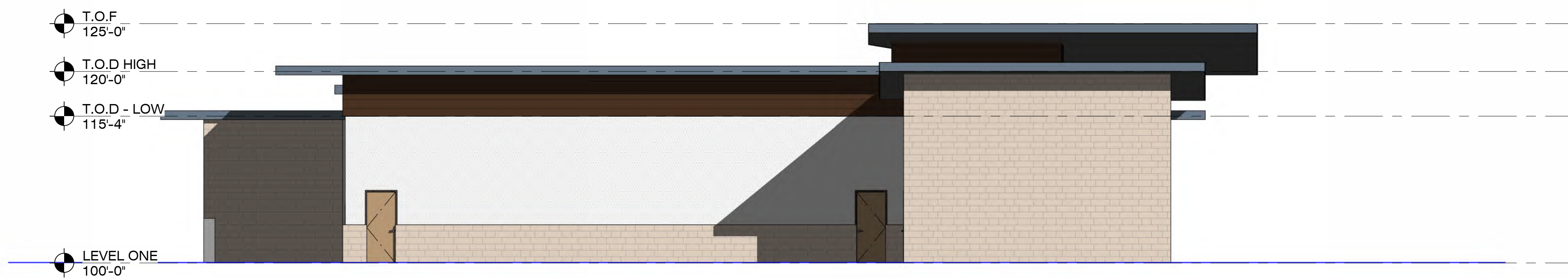
TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
9800 HILLWOOD PARKWAY, SUITE 250, FORT WORTH, TEXAS 76117
FORT WORTH PHONE: (817) 566-3350

DRAWN: SV	DATE	PROJECT #	SHEET
DESIGNED: SV	NOVEMBER 2023	CIS23001	C1
REVIEWER: TCB			

COMMUNITIES IN SCHOOLS SITE PLAN



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PRELIMINARY RENDERING - FRONT ENTRY

MATERIALS SHOWN: MANUFACTURED STONE, STUCCO, WOOD-LOOK METAL SOFFIT



Communities in Schools Tarrant County
New Operations Building

6660 Hawks Creek, Westworth Village, TX



Not for regulatory approval, permitting, or construction. Sloan Harris Texas License #19443

OCTOBER 2023 A3.02



PRELIMINARY RENDERING

MATERIALS SHOWN: MANUFACTURED STONE, STUCCO, WOOD-LOOK METAL SOFFIT



Communities in Schools Tarrant County
New Operations Building

6660 Hawks Creek, Westworth Village, TX



Not for regulatory approval, permitting, or construction. Sloan Harris Texas License #19443

OCTOBER 2023 A3.03



PRELIMINARY RENDERING

MATERIALS SHOWN: MANUFACTURED STONE, STUCCO, WOOD-LOOK METAL SOFFIT, METAL PANEL AT CLERESTORIES



Communities in Schools Tarrant County
New Operations Building

6660 Hawks Creek, Westworth Village, TX



Not for regulatory approval, permitting, or construction. Sloan Harris Texas License #19443

OCTOBER 2023 A3.04



PRELIMINARY RENDERING

MATERIALS SHOWN: MANUFACTURED STONE, STUCCO, WOOD-LOOK METAL SOFFIT, METAL PANEL AT CLERESTORIES



Communities in Schools Tarrant County
New Operations Building

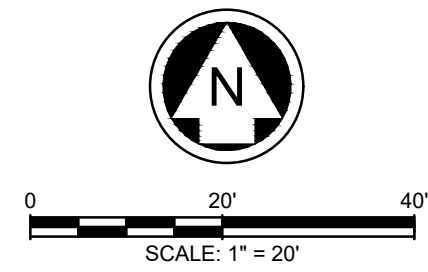
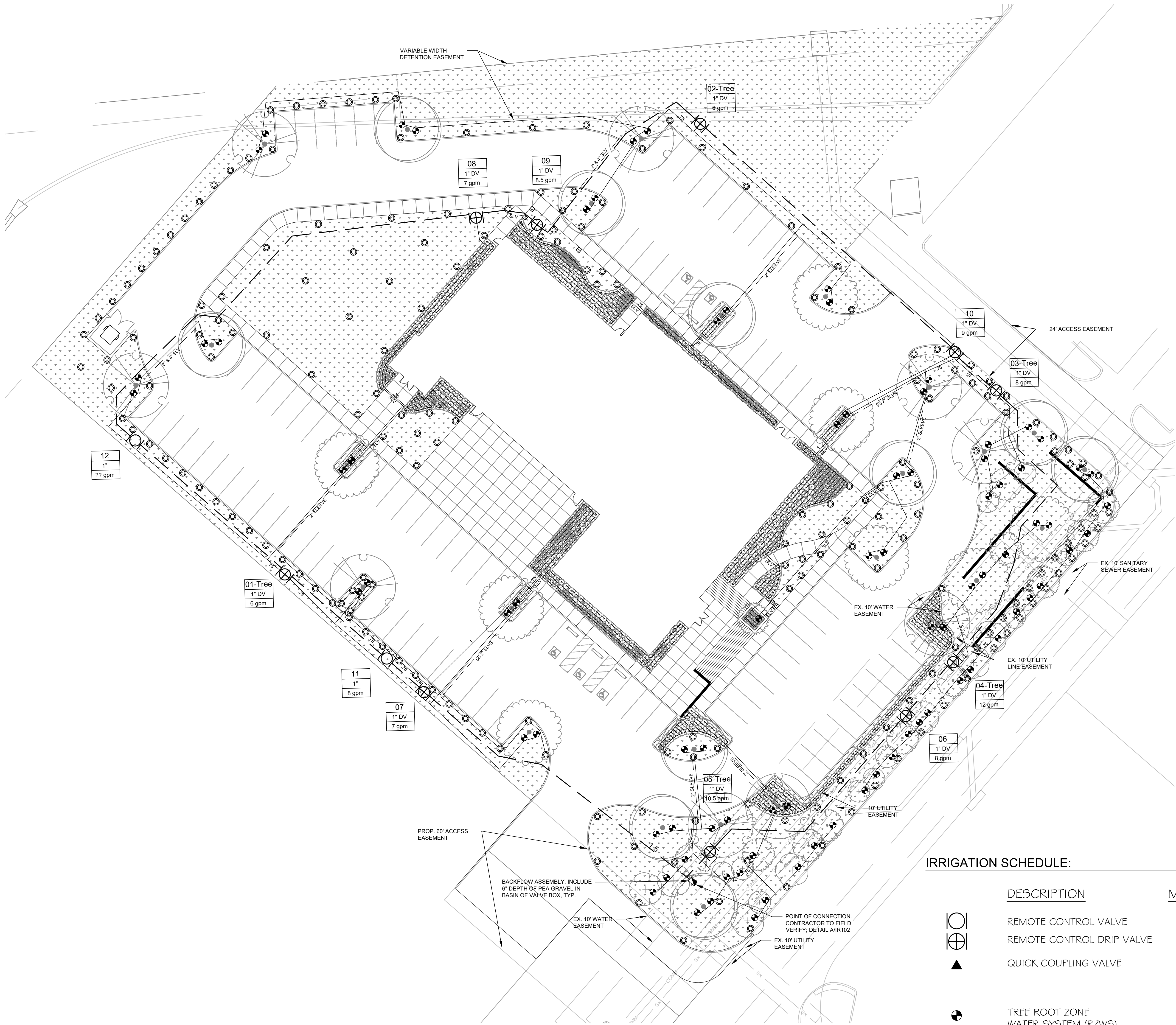
6660 Hawks Creek, Westworth Village, TX



Not for regulatory approval, permitting, or construction. Sloan Harris Texas License #19443

OCTOBER 2023 A3.05

Communities In Schools Tarrant County
CLIFTON D. HALL
1320 HEMPHILL ST., SUITE 400
FORT WORTH, TEXAS 76104
PH: 972-896-1900



NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING
AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

TEXAS 811	1-800-344-8377
ATMOS GAS	972-881-4181
CITY OF WESTWORTH VILLAGE	817-710-2500
WATER DEPARTMENT	817-710-2505

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES
VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.

BENCHMARKS
BM1: X-Cut in concrete curb inlet, located on the southeast side of Hawks Creek Avenue, +/-410' southwest from the centerline Mitchell Avenue, +/-215' northeast from the centerline of Hawks Creek Drive, & +/-15' west of a dumpster pad/enclosure.
Elevation = 612.31
BM2: X-Cut in concrete curb, located at the corner of a parking lot, +/-150' north from the centerline of Hawks Creek Avenue, 330' west from the centerline of Hawks Creek Drive, & +/-53' northeast from the north corner of a commercial building (Army recruiting and Edward Jones office).
Elevation = 625.56



VLK | ARCHITECTS

ARCHITECT

VLK Architects, Inc.
1320 Hemphill St., Suite 400
Fort Worth, Texas 76104
Main Phone: 817.633.1600
www.vlkarchitects.com

CIVIL ENGINEER

Peloton Land Solutions
500 West 7th Street, Suite 1300
Fort Worth, Texas 76102
Main Phone: 817.953.2777
www.pelotonland.com

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They were prepared by, or
under the supervision of:
Clifton D. Hall
TX LI #18221

ISSUED:	
REVISIONS	
Revision No.	Revision Date



DRAWN:
CTS
DESIGNED:
CTS
REVIEWED:
CTS

PROJECT NO.
CIS23001

SHEET TITLE

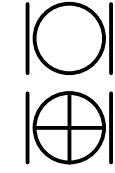


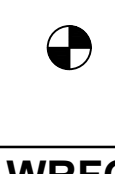
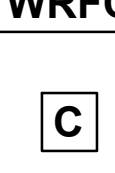
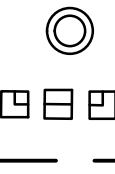
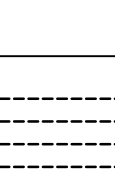
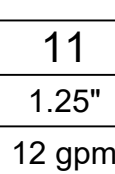

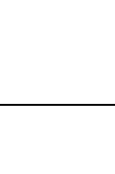

IRRIGATION PLAN

SHEET NO.

IR101

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IRRIGATION SCHEDULE:

DESCRIPTION	MANUFACTURER/MODEL	REMARKS
 REMOTE CONTROL VALVE	HUNTER/PGV SERIES	REFERENCE PLAN FOR SIZES
 REMOTE CONTROL DRIP VALVE	HUNTER/PCZ SERIES	REFERENCE PLAN FOR SIZES
 QUICK COUPLING VALVE	HUNTER/33-DRC	INCLUDE SPEARS BALL VALVE. PURPLE LID THAT READS IN BOTH ENGLISH AND SPANISH "RECLAIMED WATER, DO NOT DRINK." TWO (2) PER SHADE TREE
 TREE ROOT ZONE WATER SYSTEM (RZWS)	HUNTER/RZWS-18-50	
 WIRELESS RAIN/FREEZE SENSOR	HUNTER/ WRF-CLIK	PLACE IN UNOBSTRUCTED LOCATION, PER MANUFACTURERS RECOMMENDATION
 CONTROLLER	HUNTER PRO-HC	
 MP ROTATOR	HUNTER/MP 800, 1000 - 3000	SERIES DETERMINED BY SPACING NEEDS
 MP ROTATOR	HUNTER/ CORNER OR SIDE STRIP	SERIES DETERMINED BY SPACING NEEDS
 MAIN LINE	SIZE AS LABELED	
 LATERAL LINE	SIZE AS LABELED	
 PLANTING BED DRIP LINE	HUNTER/PLD-OG-18	18" LINE SPACING IN PLANTING BEDS
11 1.25" 12 gpm	ZONE VALVE SIZE GALLONS PER MINUTE	

CROSS TIMBERS
CROSS TIMBERS STUDIO
CLIFTON HALL, ASLA
GRANDVIEW, TX 76050
PH: 972-896-1900

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CLIFTON HALL, ASLA
GRANDVIEW, TX 76050
PH: 972-896-1900

Communities In Schools Tarrant County

NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING
AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:
TEXAS 811 1-800-344-8377
ATMOS GAS 972-881-4161
CITY OF WESTWORTH VILLAGE 817-710-2500
WATER DEPARTMENT 817-710-2505
CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES
VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.

BENCHMARKS
BM1: X-Cut in concrete curb inlet, located on the southeast side of Hawks Creek Avenue, +/-410' southwest from the centerline Mitchell Avenue, +/-215' northeast from the centerline of Hawks Creek Drive, & +/-15' west of a dumpster pad/enclosure.
Elevation = 612.31
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Elevation = 625.56

PLANT SCHEDULE

CANOPY TREE	CODE	COMMON NAME
	QV	Live Oak
	UC	Cedar Elm
	UP	Lacebark Elm

ORNAMENTAL TREES	CODE	COMMON NAME
	CT	Texas Redbud
	CL	Desert Willow
	LI	Crape Myrtle
	VC	Chaste Tree

SHRUBS	CODE	COMMON NAME
	CM	Damianita
	DY	Stokes Dwarf Yaupon Holly
	LF	Texas Sage
	LB	Big Blue Lillyturf
	LG	Chinese Fringe Flower 'Ruby'
	MC	Pink Muhly Grass
	MP	Dwarf Wax Myrtle

GROUND COVERS	CODE	COMMON NAME
	--	Decomposed Granite (DG)
	CD	Bermuda Grass (Sod)
	EC	Purple-leaf Wintercreeper

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Peloton Land Solutions
9800 Hillwood Parkway, Suite 250
Fort Worth, Texas 76177
Main Phone: 817.562.3350
www.pelotonland.com

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TYPE OR PRINT NAME: SKA# DATE

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REVISIONS
Revision No. Revision Date



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GAM
DESIGNED:
CMK, GAM
REVIEWED:
JAK, CMK

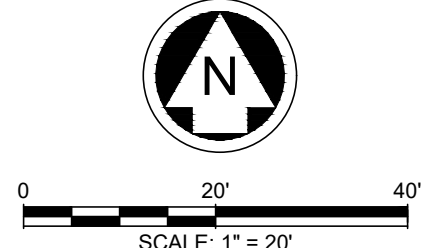
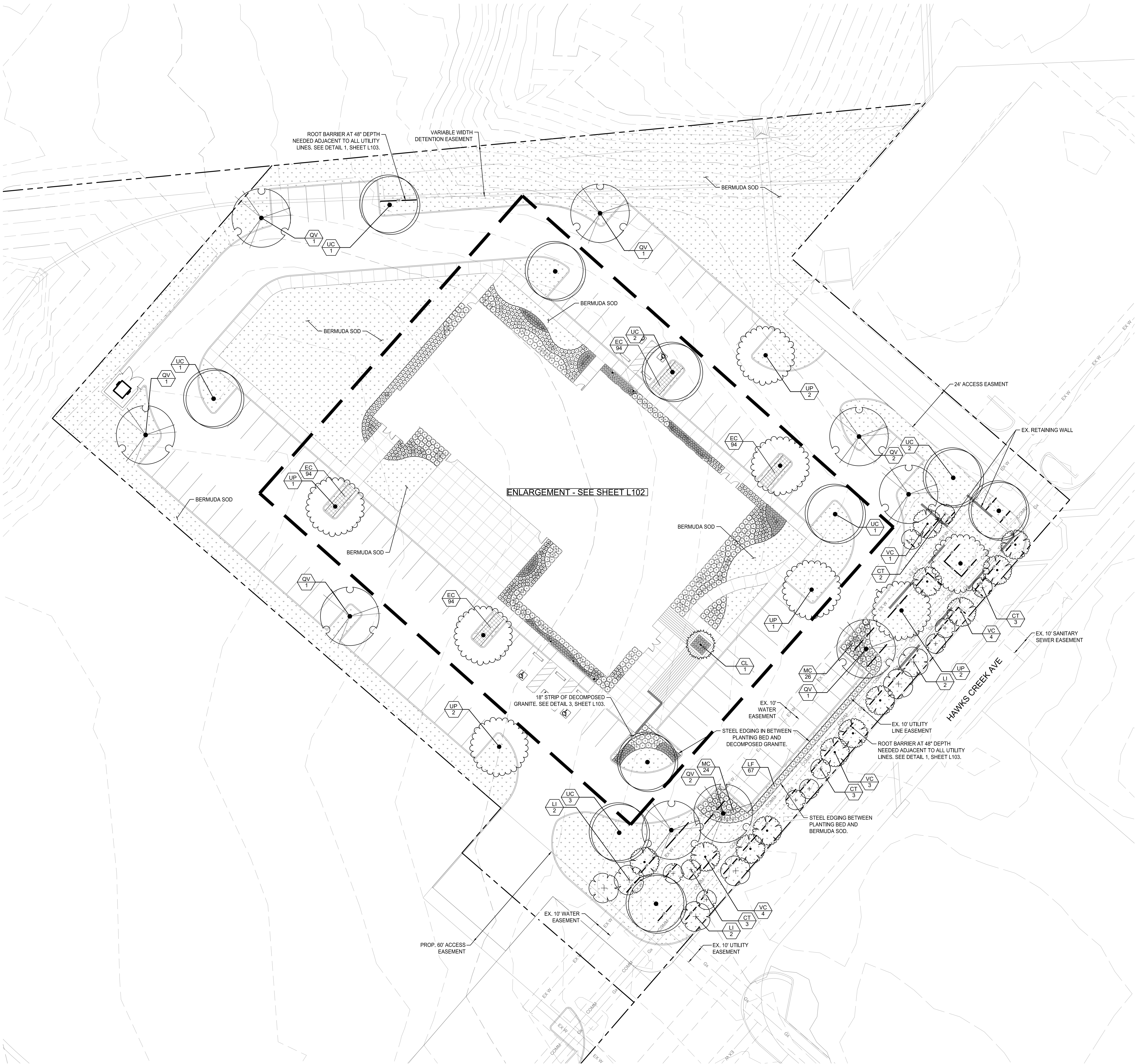
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CIS23001
SHEET TITLE
LANDSCAPE
PLANTING PLAN
SHEET NO.

L101

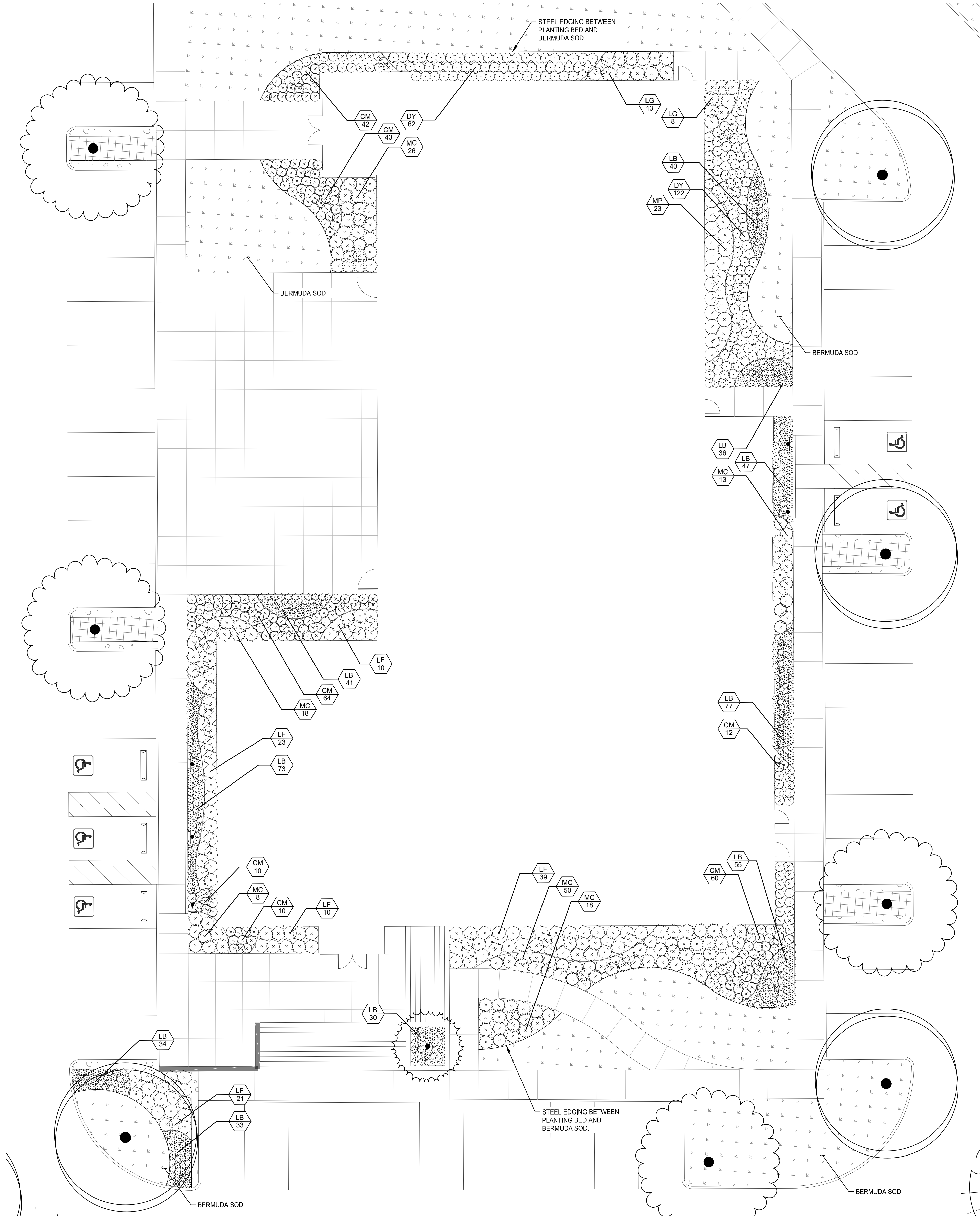
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COMMUNITIES IN SCHOOLS
WESTWORTH VILLAGE, TEXAS

Communities In Schools Tarrant County



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ATMOS GAS 972-881-4161
CITY OF WESTWORTH VILLAGE 817-710-2500
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	CL	Desert Willow
	LI	Crape Myrtle
	VC	Chaste Tree
SHRUBS	CODE	COMMON NAME
	CM	Damianita
	DY	Stokes Dwarf Yaupon Holly
	LF	Texas Sage
	LB	Big Blue Lillyturf
	LG	Chinese Fringe Flower 'Ruby'
	MC	Pink Muhly Grass
	MP	Dwarf Wax Myrtle
GROUND COVERS	CODE	COMMON NAME
	--	Decomposed Granite (DG)
	CD	Bermuda Grass (Sod)
	EC	Purple-leaf Wintercreeper



SCALE: 1" = 10'

VLK ARCHITECTS

ARCHITECT

VLK Architects, Inc.
1320 Hemphill St., Suite 400
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CIVIL ENGINEER

Peloton Land Solutions
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LANDSCAPE ARCHITECT

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www.pelotonland.com

PRELIMINARY -FOR REVIEW ONLY-

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CHELSEA M. KUYKENDALL 3619 10/06/2023
TYPE OR PRINT NAME: BLK1 DATE:

ISSUED:

REVISIONS

Revision No. Revision Date



DRAWN:
GAM
DESIGNED:
CMK, GAM
REVIEWED:
JAK, CMK

PROJECT NO.

CIS23001

SHEET TITLE

LANDSCAPE
PLANTING PLAN
ENLARGEMENT

SHEET NO.

L102

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COMMUNITIES IN SCHOOLS
WESTWORTH VILLAGE, TEXAS

Communities In Schools Tarrant County

SECTION 32 9300 - LANDSCAPE PART 1 - GENERAL

1.1 REFERENCE DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs and grasses)
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - Plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Association of Nurserymen, Grades and Standards
- D. Horis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel and crushed stone. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (4.5') inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, clearing up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died to that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
- Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.

- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
- c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.

4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and/or exceed project specifications.
 - Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions, do not measure from branch or root tip-to-tip.
 - Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
 - Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls, and root systems, limbs, branching habit, insects, injuries and latent defects.
 - Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
- Remove rejected plant material immediately from job site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as branding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition shall be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neatly tapered and well wrapped in burlap. Any tree kiosk in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10) inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.
- 2.2 SOIL PREPARATION MATERIALS
- A. Sandy Loam:
- Fiabie, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dalgass grass or Nalgass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- D. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown.
- E. Organic Fertilizer: FertiLaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- F. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- G. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: 1/8" x 4" x 16" - dark green, DURAEDGE® steel landscape edging manufactured by The J.D. Russell Company under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: Mirafi Mirascape® by Mirafi Construction Products or approved equal.
- E. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to planting compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and fill into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a four (4") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large dumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:

- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and balls of earth of 8 & 9 plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than its vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect if the percolation test fails.
- I. Backfill only with native soil. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.

- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
 - Pruning shall be done with clean, sharp tools.
 - Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Q. Steel Curbing Installation:
- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owner's approval prior to installation.
 - All steel curbing shall be free of kinks and abrupt bends.
 - Top of curbing shall be 1" maximum height above final finished grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks or curbs.
 - Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION

NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

TEXAS 811 1-800-344-8377
ATMOS GAS 972-881-4161
CITY OF WESTWORTH VILLAGE 817-710-2500
WATER DEPARTMENT 817-710-2505

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.

BENCHMARKS

BM1: X-Cut in concrete curb inlet, located on the southeast side of Hawks Creek Avenue, +/-410' southwest from the centerline Mitchell Avenue, +/-215' northeast from the centerline of Hawks Creek Drive, & +/-15' west of a dumpster pad/enclosure.

Elevation = 612.31

BM2: X-Cut in concrete curb, located at the corner of a parking lot, +/-150' north from the centerline of Hawks Creek Avenue, 330' west from the centerline of Hawks Creek Drive, & +/-53' northeast from the north corner of a commercial building (Army recruiting and Edward Jones office).

Elevation = 625.56



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AND DETAILS

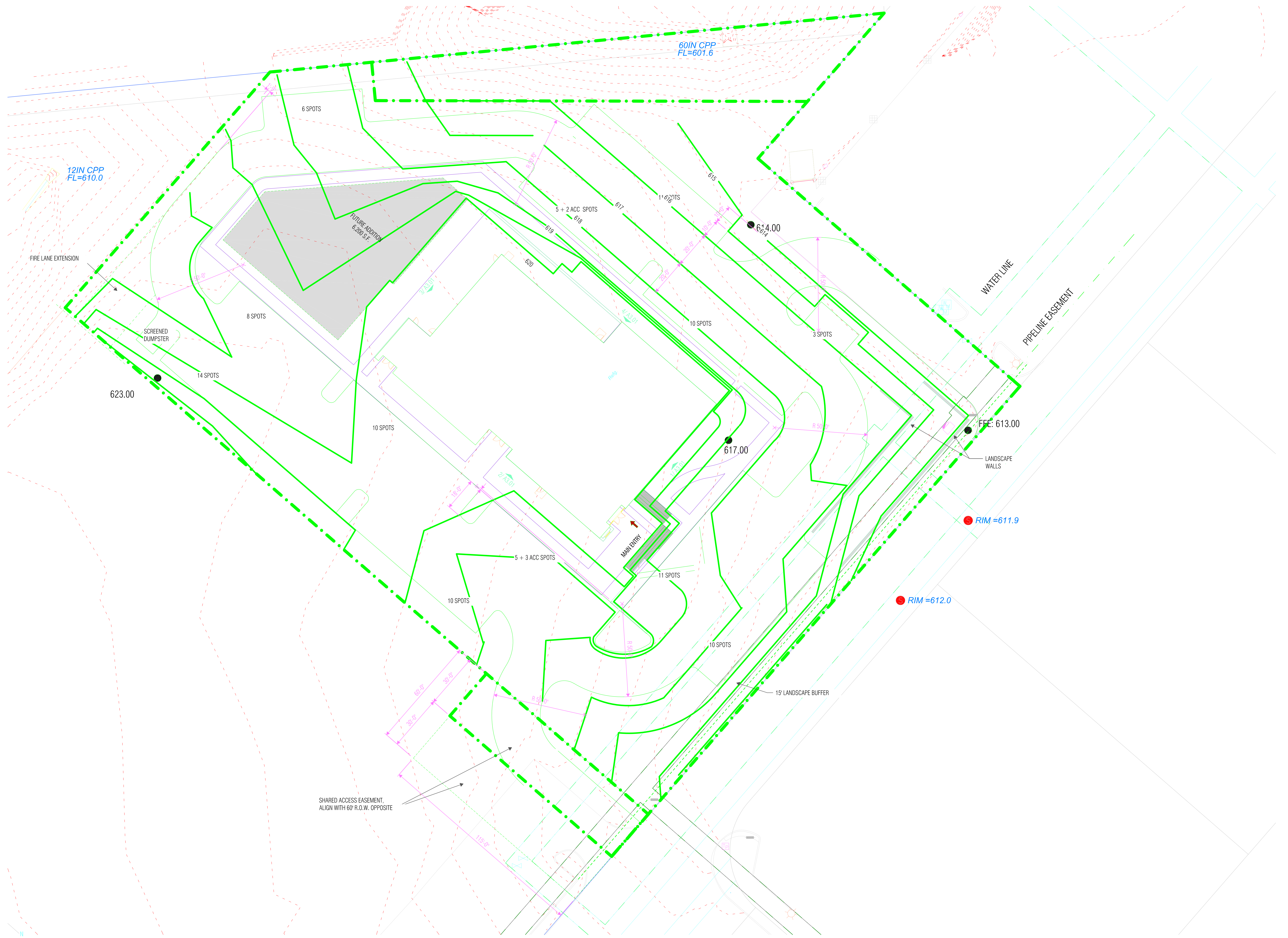
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COMMUNITIES IN SCHOOLS
WESTWORTH VILLAGE, TEXAS

Communities In Schools Tarrant County



1 SITE PLAN
SCALE: 1" = 20'-0"

Communities in Schools Tarrant County New Operations Building

6660 Hawks Creek, Westworth Village, TX

Not for regulatory approval, permitting, or construction. Sloan Harris Texas License #19443

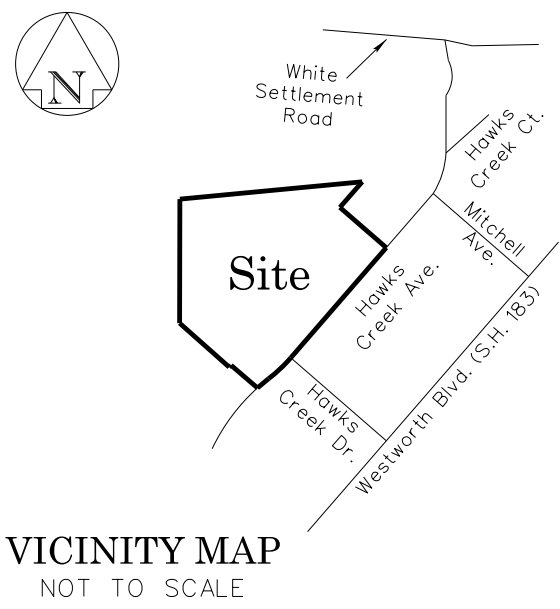
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- NOTES:
1. BASIS OF BEARING IS THE TEXAS COORDINATE SYSTEM, NAD83, ZONE 4202.
 2. ALL CORNERS SET ARE 5/8 INCH IRON RODS, WITH PLASTIC CAP STAMPED "PELOTON", UNLESS OTHERWISE NOTED.
 3. BASED ON A REVIEW OF FLOOD INSURANCE RATE MAP NUMBER 48439C0107L, REVISED MARCH 21, 2019, THE SUBJECT SITE IS IN "ZONE X", DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN". THE SURVEYOR ASSUMES NO LIABILITY FOR THE ACCURACY OF THAT MAP.
 4. THE PURPOSE OF THIS REPLAT IS TO SUBDIVIDE EXISTING LOT 3R INTO TWO LOTS.
 5. THIS PLAT DOES NOT ALTER OR REMOVE EXISTING DEED RESTRICTIONS OR COVENANTS, IF ANY, ON THIS PROPERTY.
 6. CITY OF WESTWORTH VILLAGE, TEXAS ZONING: "C" - COMMERCIAL.
 7. SELLING A PORTION OF ANY LOT WITHIN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

OWNER'S DEDICATION OF PLAT

STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS REEDER DEVELOPMENT GROUP, LTD., IS THE SOLE OWNER OF LOT 3R, BLOCK 2, THE SHOPPES AT HAWKS CREEK ADDITION, AN ADDITION TO THE CITY OF WESTWORTH VILLAGE, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER D216017450, COUNTY RECORDS, TARRANT COUNTY, TEXAS, BEING SITUATED IN THE J. MCHORSE SURVEY, ABSTRACT NUMBER 1088, C. CONNELLY SURVEY, ABSTRACT NUMBER 319, AND THE J. COLLETT SURVEY, ABSTRACT NUMBER 262, TARRANT COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A "V" CUT, FOUND IN AT THE MOST EASTERLY CORNER OF SAID LOT 3R AND THE SOUTHERLY CORNER OF LOT 3BR, SAID BLOCK 2, AND THE NORTHWEST RIGHT-OF-WAY LINE OF HAWKS CREEK AVENUE, A VARIABLE WIDTH RIGHT-OF-WAY RECORDED IN SAID INSTRUMENT NUMBER D216017450, SAID COUNTY RECORDS;

THENCE WITH SAID NORTHWEST RIGHT-OF-WAY LINE AND THE EAST LINE OF SAID LOT 3R, THE FOLLOWING COURSES AND DISTANCES:

S 40°56'09"W, 441.60 FEET, TO AN "X" CUT, FOUND AT THE BEGINNING OF A CURVE TO THE RIGHT;

WITH SAID CURVE TO THE RIGHT, AN ARC DISTANCE OF 92.41 FEET, THROUGH A CENTRAL ANGLE OF 11°24'41", HAVING A RADIUS OF 464.00 FEET, THE LONG CHORD WHICH BEARS S 46°41'11"W, 92.26 FEET, TO A "Y" CUT, FOUND AT THE BEGINNING OF A REVERSE CURVE TO THE LEFT;

WITH SAID REVERSE CURVE TO THE LEFT, AN ARC DISTANCE OF 44.19 FEET, THROUGH A CENTRAL ANGLE OF 04°19'14", HAVING A RADIUS OF 586.00 FEET, THE LONG CHORD WHICH BEARS S 50°13'53"W, 44.18 FEET, TO AN "X" CUT, FOUND AT THE SOUTHWEST CORNER OF SAID LOT 3R AND THE MOST EASTERLY CORNER OF LOT 3AR, SAID BLOCK 2;

THENCE WITH THE WEST LINE OF SAID LOT 3R, THE FOLLOWING BEARINGS AND DISTANCES:

N 49°01'10"W, 105.81 FEET, TO A 5/8 INCH IRON ROD, WITH PLASTIC CAP STAMPED "DUNAWAY", FOUND AT AN "ELL" CORNER IN SAID WEST LINE AND THE MOST NORTHERLY CORNER OF SAID LOT 3AR;

S 43°43'01"W, 8.03, TO A 5/8 INCH IRON ROD, WITH PLASTIC CAP STAMPED "DUNAWAY", FOUND AT AN "ELL" CORNER IN SAID WEST LINE AND THE MOST EASTERLY CORNER OF LOT 2, BLOCK 1, THE SHOPPES AT HAWKS CREEK ADDITION, AN ADDITION TO SAID CITY OF WESTWORTH VILLAGE, BY PLAT RECORDED IN INSTRUMENT NUMBER D206057152, SAID COUNTY RECORDS;

N 48°26'31"W, 200.99 FEET, TO THE NORTHEAST CORNER OF SAID LOT 2 AND THE MOST EASTERLY SOUTHEAST CORNER OF THE REMAINDER OF THAT TRACT OF LAND DESCRIBED BY DEED TO WESTWORTH REDEVELOPMENT AUTHORITY RECORDED IN VOLUME 14192, PAGE 82, SAID COUNTY RECORDS;

N 00°06'30"E, 375.54 FEET, TO THE NORTHWEST CORNER OF SAID LOT 3R AND THE SOUTH LINE OF THE REMAINDER OF THAT TRACT OF LAND DESCRIBED BY DEED TO WESTWORTH REDEVELOPMENT AUTHORITY, RECORDED IN INSTRUMENT NUMBER D205041734, SAID COUNTY RECORDS, FROM WHICH A 5/8 INCH IRON ROD FOUND, WITH PLASTIC CAP STAMPED "DUNAWAY", BEARS S 39°02'42"E, 0.25 FEET;

THENCE N 84°31'16"E, 555.18 FEET, WITH SAID SOUTH LINE, TO THE MOST NORTHERLY NORTHEAST CORNER OF SAID LOT 3R, THE MOST EASTERLY SOUTHEAST CORNER OF SAID REMAINDER TRACT, THE SOUTHWEST CORNER OF LOT 9R-2, BLOCK 2, OF SAID THE SHOPPES AT HAWKS CREEK ADDITION, PLAT RECORDED IN INSTRUMENT NUMBER D221302172, SAID COUNTY RECORDS, AND THE WEST LINE OF AFOREMENTIONED LOT 3BR, FROM WHICH A 1/2 INCH IRON ROD FOUND, WITH PLASTIC CAP STAMPED "FULTON", BEARS S 36°42'16"W, 0.39 FEET;

THENCE S 40°58'06"W, 103.41 FEET, TO A 5/8 INCH IRON ROD, WITH PLASTIC CAP STAMPED "DUNAWAY", FOUND AT AN "ELL" CORNER IN THE EAST LINE OF SAID LOT 3R AND THE MOST WESTERLY CORNER OF SAID LOT 3BR;

THENCE S 49°01'10"E, 186.38 FEET, WITH SAID EAST LINE, TO THE POINT OF BEGINNING AND CONTAINING 258.090 SQUARE FEET OR 5.925 ACRES OF LAND, MORE OR LESS.

KNOW ALL BY THESE PRESENTS:

THAT I/WE, REEDER DEVELOPMENT GROUP, LTD., OWNERS, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN BEFORE DESCRIBED PROPERTY AS LOTS 3R1 AND 3R2, BLOCK 2, THE SHOPPES AT HAWKS CREEK ADDITION, AN ADDITION TO THE CITY OF WESTWORTH VILLAGE, TARRANT COUNTY, TEXAS, AND DO HEREBY DEDICATE TO THE PUBLIC USE FOREVER ALL STREETS, RIGHTS-OF-WAY, ALLEYS, AND EASEMENTS SHOWN THEREON. THE CITY OR ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS IN WHICH ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEMS ON ANY OF THESE EASEMENTS, AND THE CITY OR ANY PUBLIC UTILITY SHALL, AT ALL TIMES HAVE THE RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON THE SAID EASEMENT FOR THE PURPOSE OF CONSTRUCTION, RECONSTRUCTING, INSPECTING, AND PATROLLING, WITHOUT THE NECESSITY AT ANY TIME OF PRODUCING THE PERMISSION OF ANYONE. THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF WESTWORTH VILLAGE, TEXAS.

OWNER

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED ----- KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME OF THE PURPOSES AND CONSIDERATIONS THEREIN.

WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGE TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE __ DAY OF -----, 202__.

NOTARY PUBLIC, STATE OF TEXAS

MY COMMISSION EXPIRES:-----

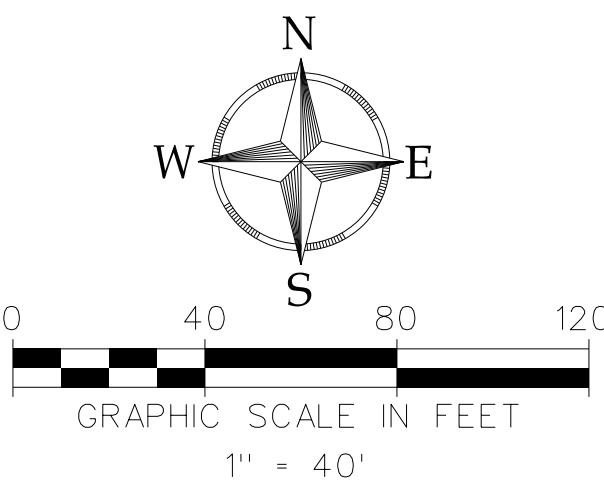
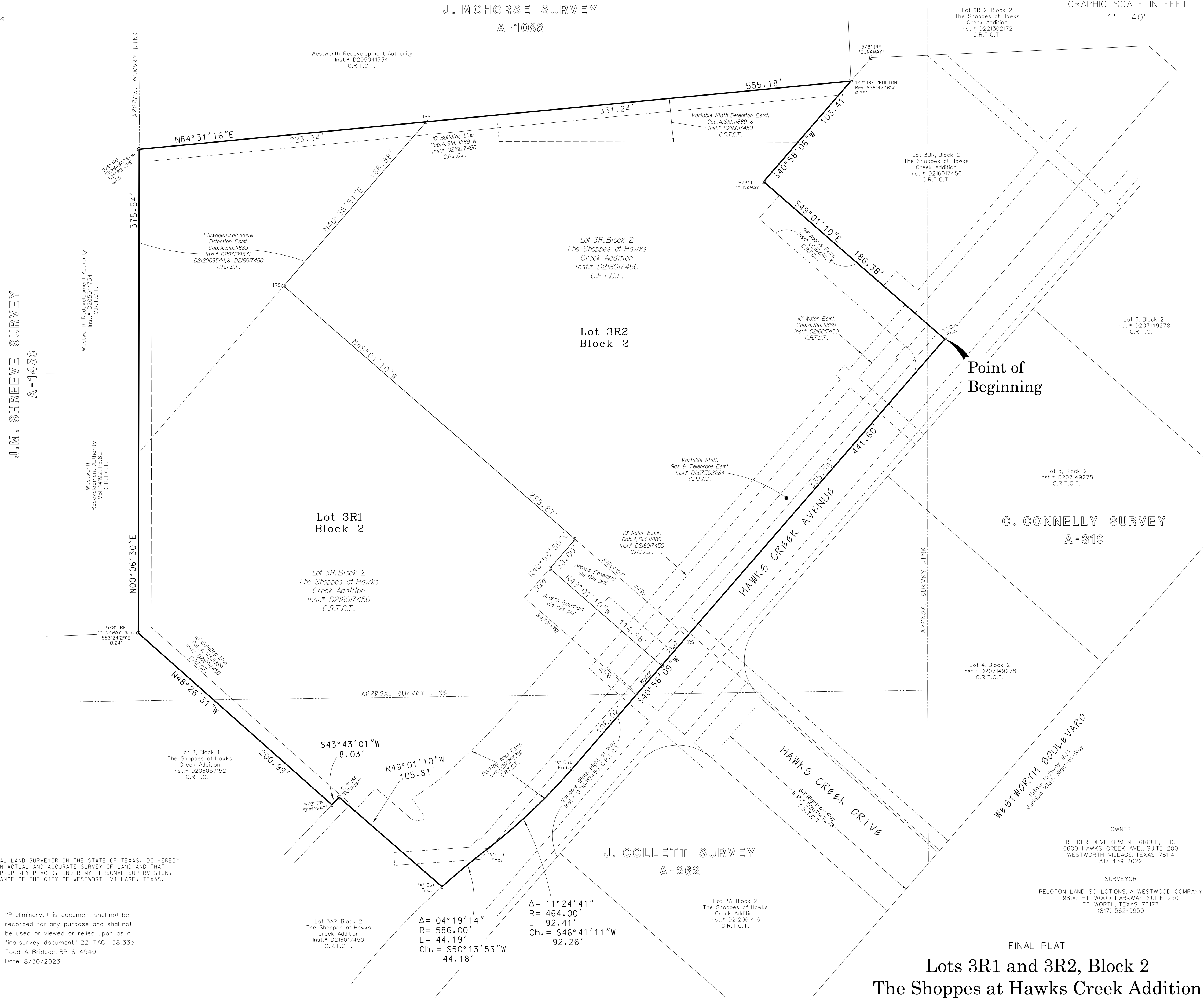
CITY APPROVAL BLOCKS	
THE CITY COUNCIL OF WESTWORTH VILLAGE ON _____, 202__,	
VOTED TO ADOPT THIS PLAT AND APPROVE IT FOR FILING OF RECORD	
BY:	MAYOR
ATTEST:	CITY SECRETARY
THE PLANNING AND ZONING COMMISSION OF WESTWORTH VILLAGE ON _____, 202__,	
VOTED TO ADOPT THIS PLAT AND APPROVE IT FOR FILING OF RECORD	
BY:	CHAIRMAN
THE CITY COUNCIL OF WESTWORTH VILLAGE ON _____, 202__,	
VOTED TO ADOPT THIS PLAT AND APPROVE IT FOR FILING OF RECORD	
BY:	CITY ADMINISTRATOR OR HIS/HER DESIGNEE
ATTEST:	CITY SECRETARY

CERTIFICATION

I, TODD BRIDGES, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED, UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF WESTWORTH VILLAGE, TEXAS.

TODD A. BRIDGES
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4940
DATE: -----

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document" 22 TAC 138.33e
Todd A. Bridges, RPLS 4940
Date: 8/30/2023



FINAL PLAT

Lots 3R1 and 3R2, Block 2

The Shoppes at Hawks Creek Addition

BEING A REPLAT OF LOT 3R, BLOCK 2, THE SHOPPES AT HAWKS CREEK ADDITION, AN ADDITION TO THE CITY OF WESTWORTH VILLAGE, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN INSTRUMENT NUMBER D216017450, COUNTY RECORDS, TARRANT COUNTY, TEXAS.

Revisions:	Added Access Easement 08-25-23	Revised Lot Line 08-30-23
Job #:	CIS23001	
Drawn By:	W.MELVIN	
Checked By:	T.B.R.	
Date:	07/31/2023	

PELOTON

LAND SOLUTIONS

a Westwood company

8800 HILLWOOD PARKWAY, SUITE 250
FORT WORTH, TEXAS 76177 PH# 817-562-3350

SHEET

1

OF 1 SHEETS



PUBLIC HEARING, BRIEFINGS AND ACTION ITEMS ON THE AGENDA:

ITEM H & I – Site plan 6405 Westworth Blvd

The property owner has requested the Commission consider approval of a car wash, which requires a Specific Use Permit in compliance with the Comprehensive Zoning Ordinance Use table requirements. One requirement on the Specific Use Permit application is an approved concept/site plan. They have also submitted the site plan for approval. They will be at the meeting to answer any questions.

STAFF RECOMMENDATION:

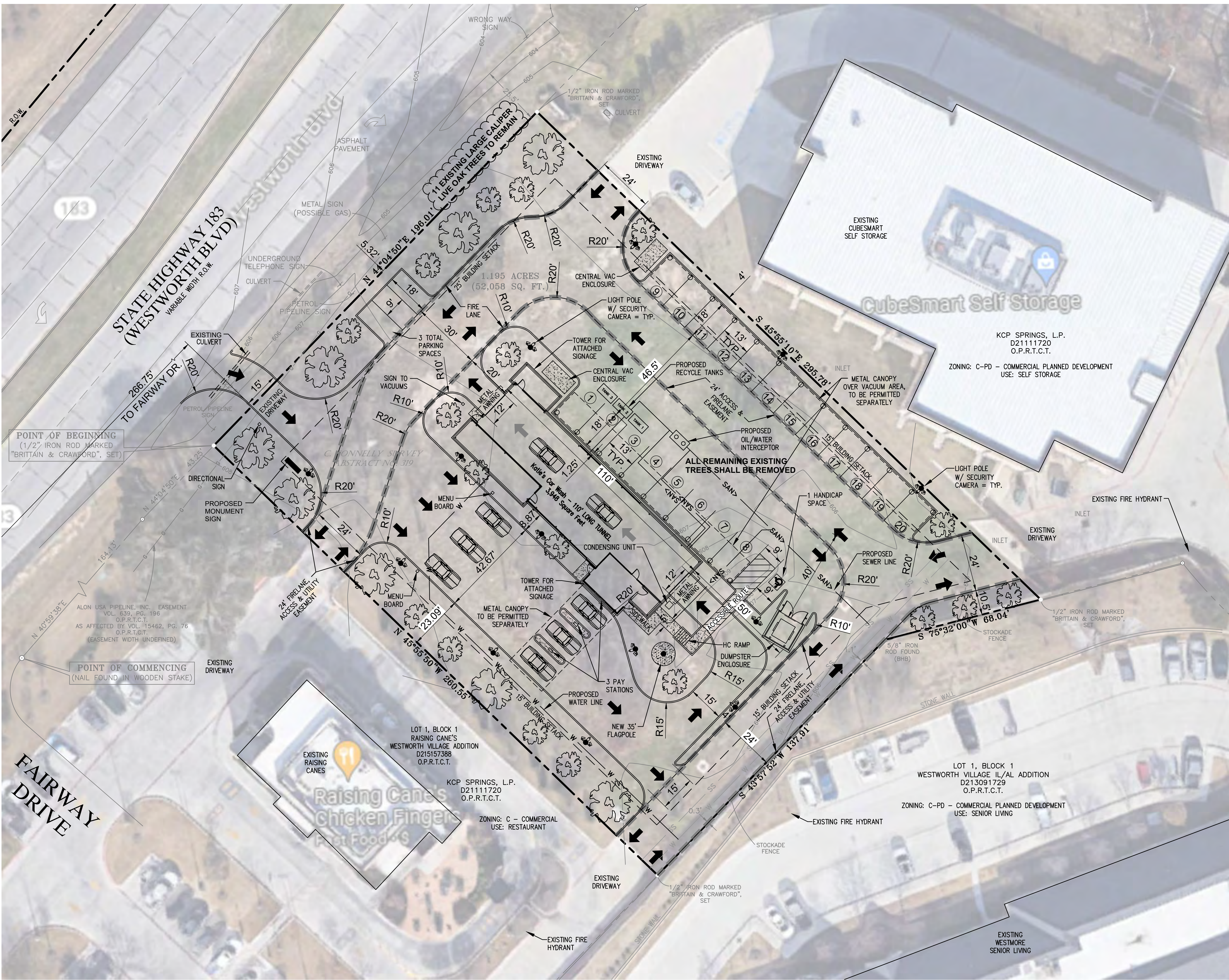
Staff recommends approval of the site plan, provided the commission plans to grant a Specific Use Permit for a car wash on this property.

PUBLIC HEARINGS:

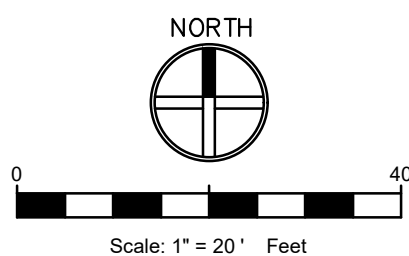
If you are unable to attend the public hearing, you can submit comments for the P&Z to consider, in the following ways:

- In writing – dropped off to the Permits Department by noon on the day of the meeting.
- Via email – to bbarrett@cityofwestworth.com – must be received by noon on the day of the meeting.
- Verbally in-person at the meeting

Brandy Barrett

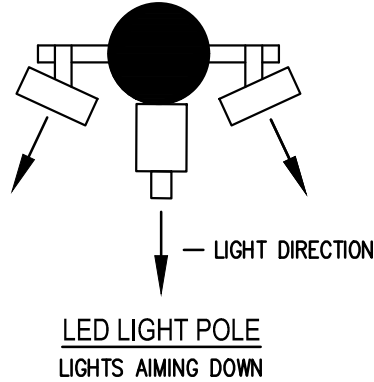


01 SITE PLAN
SCALE: 1" = 20'-0"



FLOOD NOTE

NO PORTION OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD HAZARD ZONE, ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR TARRANT COUNTY, TEXAS, AND INCORPORATED AREAS, COMMUNITY-PANEL NUMBER 48139C0190F, MAP REVISED JUNE 3, 2013.



OWNER:
THE WESTOVER
GROUP
MACK HOUSE
556 8TH AVE.
FORT WORTH, TX 76104
817-259-3510 DIRECT
817-368-4433 MOBILE

DEVELOPER:
PETRIE
PROPERTIES
ROBERT PETRIE
6111 LAKE WORTH BLVD.
LAKE WORTH, TX 76135
817-401-1617

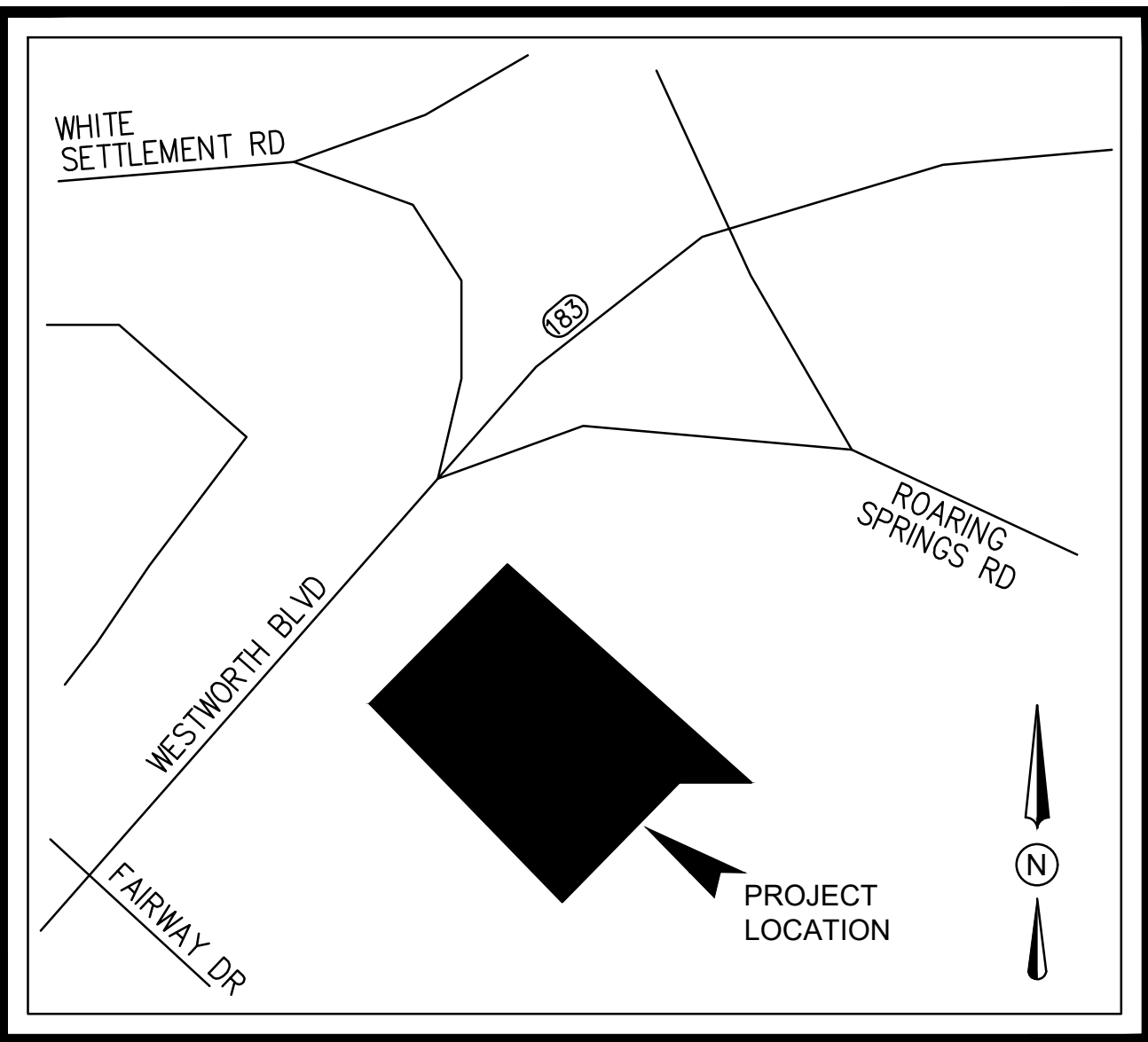
NO.	DATE	DESCRIPTION	BY

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR TO START OF ANY WORK. A REGISTERED SURVEYOR SHALL BE ENGAGED TO LAY OUT ALL SITE WORK.
- CONTRACTOR SHALL REVIEW DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN PROJECT PLANS AND SPECIFICATIONS, IN WRITING.
- DRAWINGS SHALL NOT BE SCALED FOR BIDDING AND/OR CONSTRUCTION PURPOSES.
- ALL PLAN DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION WORK SHALL MEET OR EXCEED ALL LOCAL, STATE AND NATIONAL BUILDING CODES, AND COMPLY WITH THE CITY OF WESTWORTH VILLAGE BUILDING ORDINANCES. A BUILDING PERMIT SHALL BE OBTAINED FROM THE CITY OF WESTWORTH VILLAGE.
- A LANDING MUST BE PROVIDED AT EACH EXIT DOOR. THE FLOOR SURFACE ON BOTH SIDES OF THE DOOR SHALL BE AT THE SAME ELEVATION AS PER THE TEXAS FIRE PREVENTION CODE.
- VERIFY ALL EXIT DOOR LOCKING HARDWARE COMPLIES WITH THE TEXAS FIRE PREVENTION CODE.
- ALL NEW CONCRETE FLOOR SLAB AREAS SHALL HAVE TERMITE TREATMENT.
- ALL STRUCTURES SHALL HAVE ADDRESS NUMBERS PLACED ON THE BUILDING IN ACCORDANCE WITH WESTWORTH VILLAGE MUNICIPAL CODE.
- ALL SIGNAGE, PERMANENT, PORTABLE, BANNERS, ETC. TO FOLLOW THE WESTWORTH VILLAGE SIGN ORDINANCE.
- HOURS OF OPERATION:
CAR WASH - 7 DAYS A WEEK, 7:00 AM TO 8:00 PM.
- BUILDING NOT TO EXCEED 25'-0" IN HEIGHT AND TOWERS NOT TO EXCEED 35'-0" IN HEIGHT.
- EXTERIOR MATERIALS FOR BUILDING WILL BE SPLIT-FACED CMU BLOCK, GLASS WINDOW PANELS AND STORE FRONT MATERIALS.
- ALL DOMESTIC WATER SERVICE AND METER SHALL BE 1-1/2".
- SITE WILL COMPLY WITH LANDSCAPING REQUIREMENTS.
- BUILDING IS A ONE STORY BUILDING WITH MECHANICAL MEZZANINES ABOVE STORAGE AREA AND OFFICE.

SITE DATA SUMMARY TABLE

SITE ACREAGE:	1.195 ACRES (52,058 SQ. FT.)
EXISTING ZONING:	PD-42-C AND FOLLOWS C - COMMERCIAL
PROPOSED ZONING:	PD-42-C AND FOLLOWS C - COMMERCIAL
PROPOSED USE:	CARWASH
BUILDING AREA:	3,948 S.F.
NUMBER OF STORIES:	1
BUILDING COVERAGE:	8%
FLOOR AREA RATIO:	0.08
IMPERVIOUS AREA:	40,165 S.F. (77.2%)
PERVIOUS/LANDSCAPE AREA:	11,893 S.F. (22.8%)
PARKING REQUIRED: 5 PER LANE	15 SPACES
REGULAR PARKING PROVIDED:	3 SPACES
HANDICAP PARKING REQUIRED:	1 SPACE
HANDICAP PARKING PROVIDED:	1 SPACE
REGULAR PARKING PROVIDED:	4 SPACES
VACUUM STALLS PROVIDED:	20
TOTAL PARKING PROVIDED:	24

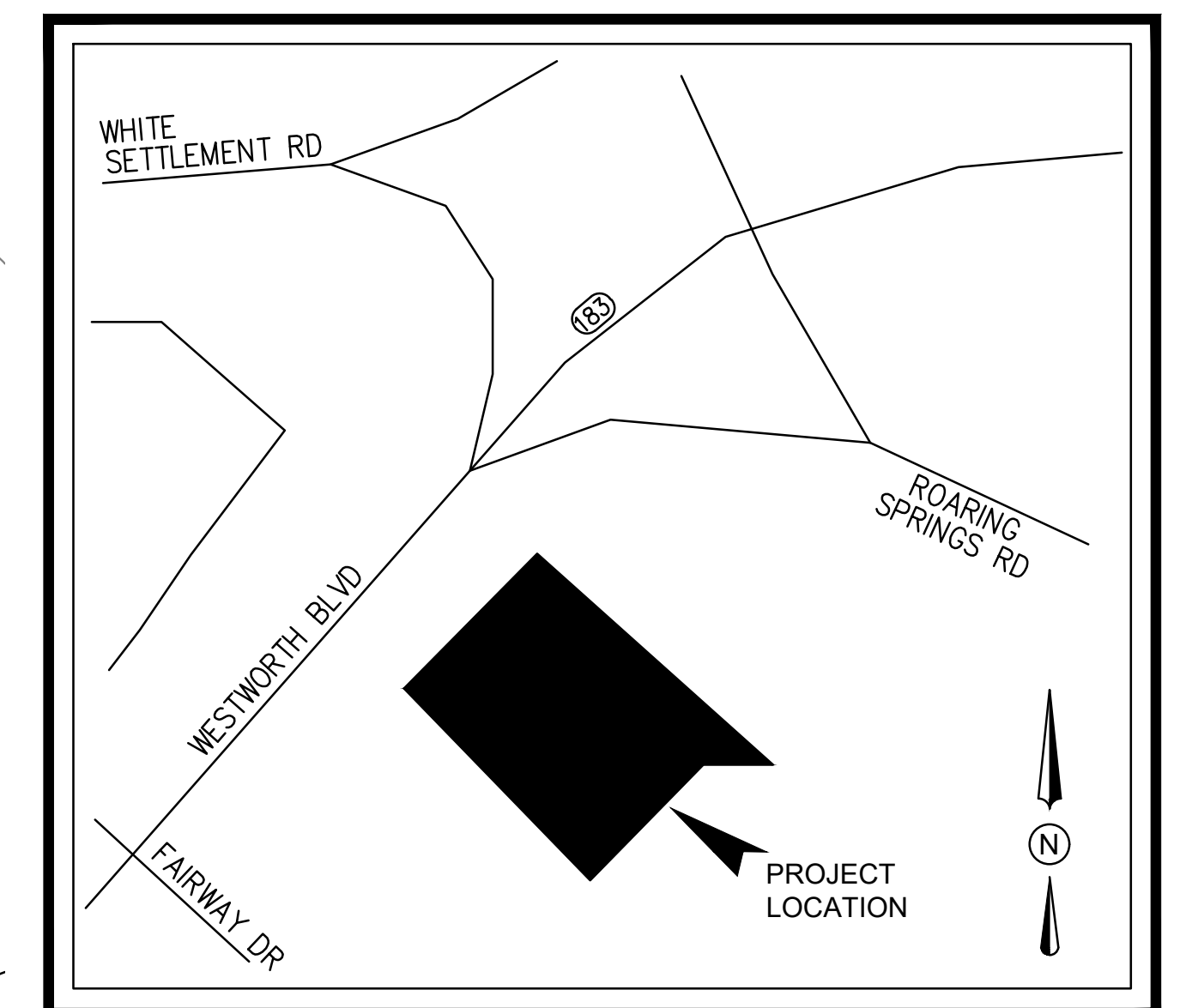


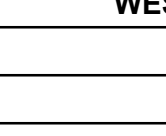

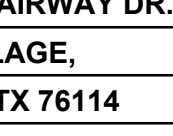
02 VICINITY MAP
NOT TO SCALE

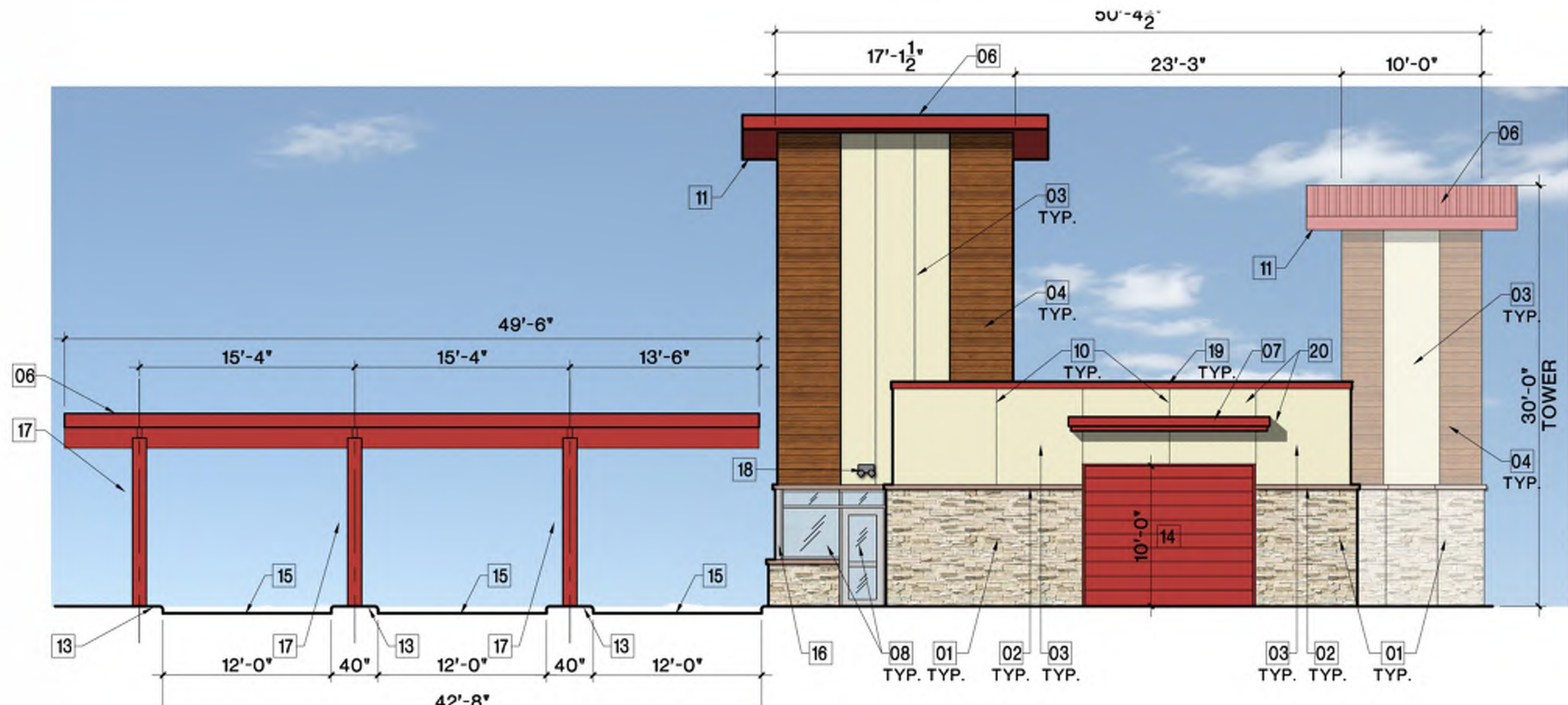
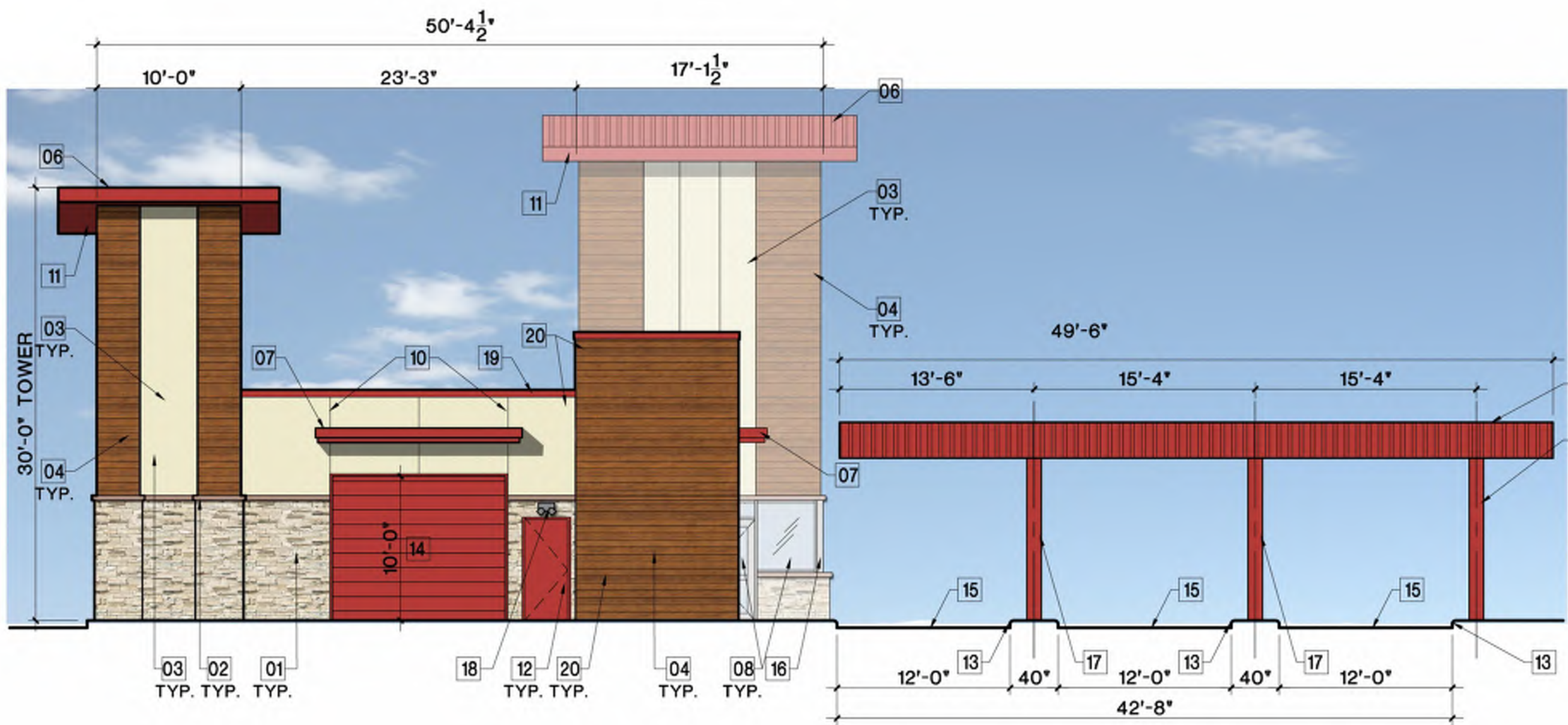
SITE PLAN

KATIE'S CARWASH
WESTWORTH BLVD. & FAIRWAY DR.
WESTWORTH VILLAGE,
TARRANT COUNTY, TX 76114
1.195 ACRES (52,058 SQ. FT.)
C. CONNELLY SURVEY, ABSTRACT NO. 319

PROJECT MANAGER: AG DESIGN GROUP, LLC PO BOX 383022 DUNCANVILLE, TX 75138		ARCHITECT: 711 N. FIELDS RD. ARLINGTON, TX 76012 PH: (817) 635-5696 FAX: (817) 635-5699 T.B.P.E. FIRM REG. NO. 006809		CIVIL ENGINEERING: THOMAS HOOVER ENGINEERING, LLC P.O. BOX 1808 KELLER, TX 76244 PH: (817) 913-1350 T.B.P.E. FIRM REG. NO. 006809	
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
TH	AG	10-31-23	SEE SCALE BAR	23000	A1.00

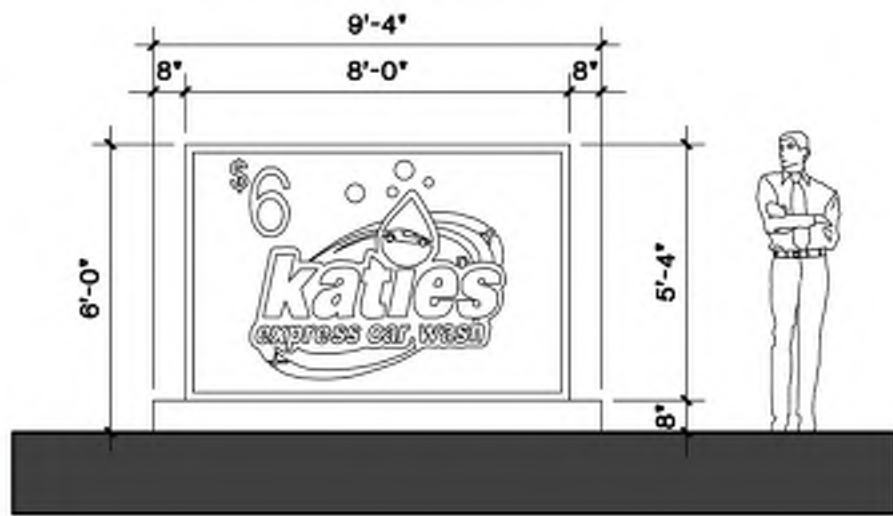


<h1 style="margin: 0;">LANDSCAPE PLAN</h1> <h2 style="margin: 0;">KATIE'S CARWASH</h2> <p style="margin: 0;">WESTWORTH BLVD. & FAIRWAY DR.</p> <p style="margin: 0;">WESTWORTH VILLAGE,</p> <p style="margin: 0;">TARRANT COUNTY, TX 76114</p> <p style="margin: 0;">1.195 ACRES (52,058 SQ. FT.)</p>					
<p>C. CONNELLY SURVEY, ABSTRACT NO. 319</p>					
					
<p>PROJECT MANAGER: AG DESIGN GROUP, LLC PO BOX 305023 DUNCANVILLE, TX 75138</p>		<p>ARCHITECT: 711 N. FIELDER RD. AUSTIN, TX 78702 PH: (817) 635-5696 FX: (817) 635-5699</p>		<p>CIVIL ENGINEERING: THOMAS HOOVER ENGINEERING, LLC P.O. BOX 1808 KELLER, TX 76244 PH: (817) 913-1350 T.S.P.E. FIRM REG. NO. 006009</p>	
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
TH	AG	10-31-23	SEE CONTRACT	23000	A2 00



GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL TRADES INVOLVED IN ORDER TO MINIMIZE CONFLICT AND TO COORDINATE ALL ACTIVITIES.
2. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FAMILIARIZE HIMSELF/HERSELF WITH EXISTING SITE CONDITIONS AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL PLAN LOCATIONS AND FIELD ELEVATIONS OF NEW CONSTRUCTION. IF THERE IS A CONFLICT BETWEEN THESE DOCUMENTS AND ALL APPLICABLE LAWS, LOCATIONS AND FIELD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO THE COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL INSPECT AND VERIFY THE EXISTING SITE CONDITIONS AND DIMENSIONS AS WELL AS THE SURROUNDING AND ADJACENT AREAS TO THE EXTENT NECESSARY, TO BECOME ACQUAINTED WITH ALL EXISTING CONDITIONS WHICH AFFECT ANY AND ALL PHASES OF THE WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES WHICH WILL AFFECT WORK UNDER THIS CONTRACT.
4. THE CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT AND MATERIALS UNLESS INDICATED OTHERWISE, AS WELL AS SECURE ALL NECESSARY PERMITS TO PERFORM THE WORK INDICATED WITHIN THESE DOCUMENTS.
5. ALL EXPOSED STEEL SHALL BE PAINTED AS SELECTED BY OWNER.
6. ALL FINISH MATERIALS TO BE INSTALLED PER MANUFACTURER'S DETAILED SPECIFICATIONS.
7. CONTRACTOR TO COORDINATE FINISH FLOOR AND GRADE ELEVATION HEIGHTS WITH CIVIL DRAWINGS. NOTIFY ARCHITECT AND OWNER OF ANY CONFLICTS.



ELEVATION NOTES BY NUMBER

- 01 STONE VENEER OVER CMU - COLOR AS SELECTED BY OWNER
- 02 CAST STONE CAP (WATER TABLE) - COLOR AS SELECTED BY OWNER
- 03 STUCCO/EIFS ASSEMBLY - COLOR AS SELECTED BY OWNER
- 04 FIBER CEMENT OR EXTERIOR GRADE TILE WITH "WOOD LOOK" - AS SELECTED BY OWNER
- 05 BUILDING SIGNAGE AS SELECTED BY OWNER - UNDER SEPARATE PERMIT BY OTHERS.
- 06 METAL ROOF AS SELECTED BY OWNER - CONTRACTOR SHALL INSTALL PER MANUFACTURER RECOMMENDATIONS AND REQUIREMENTS.
- 07 PRE-FINISHED METAL AWNING AS PER OWNER. - FLASH AND SEAL AS REQUIRED.
- 08 ALUMINUM STOREFRONT SYSTEM AND DOOR - COLOR AS SELECTED BY OWNER - WITH 1" INSULATED LOW-E GLASS.
- 09 SLIDING SERVICE WINDOW - COLOR AS SELECTED BY OWNER
- 10 MASONRY CONTROL JOINT. SPACING @ 25'-0" MAX. OFFSET JOINT TO END OF BEARING HEADER WHERE APPLICABLE.
- 11 FASCIA BOXED TRIM AND SOFFIT - COLOR AS SELECTED BY OWNER AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
- 12 PAINTED HOLLOW METAL DOOR AND FRAME - REF: DOOR SCHEDULE - COLOR AS SELECTED BY OWNER.
- 13 CONCRETE ISLAND/DRIVEWAY
- 14 PRE-FINISHED OVER HEAD ROLL-UP DOOR - REF: DOOR SCHEDULE - COLOR AS SELECTED BY OWNER.
- 15 CONCRETE QUEUE LANES
- 16 WRAP COLUMNS WITH METAL CLOSURE TO MATCH STOREFRONT (TYP.)
- 17 STEEL COLUMN PAINTED.
- 18 EXTERIOR WALL PACK LIGHT FIXTURE MOUNTED 12" ABOVE DOOR HEADER. - REF: ELECTRICAL DRAWINGS.
- 19 PRE-FINISHED METAL COPING - COLOR AS SELECTED BY OWNER.
- 20 DASHED LINE INDICATES TPO ROOF SLOPE ABOVE METAL DECK AND PURLINS - PER STRUCTURAL.

